

**Mono County  
Community Development Department**

P.O. Box 347  
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**Planning Division**

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**WHEELER CREST DESIGN REVIEW DISTRICT  
PROJECT INFORMATION SHEET**

**APPLICANT** CRAIG TAPLEY / DESIGN DIMENSION ASSOC., INC.

**ASSESSOR PARCEL #** 064.200.024.000

**PROJECT DESCRIPTION** (e.g., single-family residence, garage, etc.)

PROPOSED SINGLE FAMILY RESIDENCE W/ DETACHED GARAGE

**BUILDING DESIGN**

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

**EXAMPLE**

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**

Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**

Please explain how your project complies with the following design criteria:

ELECTRIC SERVICE IS LOCATED AT NORTH SIDE OF GARAGE W/ 200 AMP METER & SHUT-OFF. CONDUIT TO SOUTH SIDE OF HOUSE @ 200 AMP SUB-PANEL. PROPANE TANK LOCATED BEHIND GARAGE & WILL BE SHIELDED W/ WOOD FENCE PAINTED TO MATCH HOUSE ALSO SEVERAL 5 GALLON CONIFERS PLANTED TO BLOCK VIEW OF TANK.

**Design Criteria:** All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

B.  **Paint color for any portions of construction grade foundation work that extend above the finished grade.**

Please explain how your project complies with the following design criteria (lines on next page):

**Design Criteria:** Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

C.  **Paint or stain color for exposed under portions of elevated decks and porches.**

Please explain how your project complies with the following design criteria:

ANY EXPOSED WOOD OF FRAMING WILL BE STAINED w/ SEMI TRANSPARENT - CABOTS "PEPPERWOOD" TO ACCENT HOUSE COLOR.

**Design Criteria:** Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

D.  **Siding materials and pattern of application.**

Please explain how your project complies with the following design criteria:

SIDING - BOARD/BATT - JAMES HARDIE - ARTISIAN LAP 10" EXPOSURE, PAINT FINISH  
JAMES HARDIE - 4x8 PANEL MATERIAL w/ 3/4" x 3.5" VERT. BATTENS @ 16" o/c.  
- VERT. CORE-TEN SIDING, NATURAL OXIDIZED PATINA, WITH ALL TRIM TO MATCH.

**Design Criteria:** Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

E.

**Color for any aluminum sash.**

Please explain how your project complies with the following design criteria:

THERE WILL NOT BE ANY EXPOSED ALUMINUM SASH, ALL EXPOSED FLASHING WILL BE COLORED METAL TO MATCH ROOF BAKED ENAMEL.

**Design Criteria:** Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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F.

**Paint colors for all exposed metal.**

Please explain how your project complies with the following design criteria:

ALL EXPOSED METAL WILL MATCH ASC-SKYLINE "BROWN CHESTNUT" PLEASE REFER TO ELECTRONIC PDF COLOR PALLETTE

**Design Criteria:** All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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G.

**Roof materials**

Please explain how your project complies with the following design criteria:

ALL ROOF SURFACES WILL BE COVERED W/ ASC-SKYLINE STANDING SEAM - "CHESTNUT BROWN" W/ DRIP EDGE. CHIMNEY CHASE TO BE ADAPTED W/ SCREEN AND ROOF METAL

**Design Criteria:** Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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H.

**Color and type of exterior stains and finishes.**

Please explain how your project complies with the following design criteria:

MAIN BODY OF HOUSE TO BE PAINTED W/ DUNN-EDWARDS

ALL TRIM & WDW WRAP TO BE PAINTED W/ DUNN-EDWARDS

WINDOWS WILL ALL BE FIBERGLASS OR ANODIZED ALUM. "DARK BRONZE"

**Design Criteria:** Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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I.  **Location of any exterior lighting.**

Please explain how your project complies with the following design criteria:

GARAGE FRONT WALL @ SECTIONAL DOOR WILL HAVE SHIELDED DOWN LIGHTS, SIDE DOOR @ PATIO 2-LITES FRONT DOOR @ HOUSE WILL HAVE 2 SHIELDED LITES AS WELL BACK DECK 2-WALL SCONCES.

**Design Criteria:** Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**SITE DEVELOPMENT**

J.  **Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.**

Please explain how your project complies with the following design criteria:

PLEASE REFER TO A-1, A-1.1 FOR ALL TOPOGRAPHY DRAINWAY AND FLOOR ELEVATIONS FOR BOTH BUILDINGS, MINIMAL CUT WILL BE REQUIRED AS STEM WALL FOUNDATIONS ALLOW FOR SUSTAINABLE DESIGN.

**Design Criteria:** The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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K.  **Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).**

Please explain how your project complies with the following design criteria:

PLEASE REFER TO A-1, A-1.1 FOR DRAINWAY AND ALL FLOWLINES TO CONTROL WATER RUN-OFF & DRAINAGE.

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**Design Criteria:** Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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L.  **Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).**

Please explain how your project complies with the following design criteria:

PLEASE SEE A-1, A-1.1 FOR ALL GRADING - SLOPE @ DRIVE  
FLOWLINES @ HOUSE TO CONTROL RUN-OFF.

**Design Criteria:** Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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M.  **Fencing location, design and materials.**

Please explain how your project complies with the following design criteria:

FENCING ONLY @ PROpane TANK, PLANK CEDAR  
PAINTED TO MATCH HOUSE.

**Design Criteria:** Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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- N.  Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).

Please explain how your project complies with the following design criteria:

MINIMAL SITE DISTURBANCE AS THERE IS ONLY SOME  
SAGE & SHRUBS. WE ARE PLANNING A ZERO SCAPE W/  
INFILL OF INDIGENOUS DROUGHT RESISTANT PLANTS

**Design Criteria:** Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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- O.  The items checked above have been included with the building plans and plot plan for Plan Check # \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

# PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

**APPLICANT** \_\_\_\_\_

**ASSESSOR PARCEL #** \_\_\_\_\_

**PROJECT DESCRIPTION** \_\_\_\_\_  
(e.g., single-family residence, garage, etc.)

**WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:**

Recommended for approval:  without conditions  with attached conditions

\_\_\_\_\_  
Chair, Wheeler Crest Design Review Committee

\_\_\_\_\_  
Date

*The Wheeler Crest Design Review Committee recommends the following findings and conditions:*

Complies with guidelines

Does not comply with guidelines (please summarize items inconsistent with guidelines)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**COMMUNITY DEVELOPMENT DETERMINATION:**

Hold for further review/information (see attached letter for detail)

Approved with no conditions

Approved with the following conditions

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Community Development Department

\_\_\_\_\_  
Date



**WILDLAND URBAN INTERFACE REQUIREMENTS**

- This project shall comply with the Wildland Urban Interface standards in the high hazard zone and must meet the required fire protection measures of California Residential Code Chapter R337.
- Construction to be completed following Fire & Life Safety review to guidelines in accordance with 2022 California Fire Code.
- An approved Spark arrestor will be required for all Fireplaces, Barbeques, or other heaters in which solid or liquid fuels are used.
- Building address must be on a contrasting background, 4 inches in size, located in the vicinity of the Garage, and be readily visible and legible from the road serving the structure. Numbers shall contrast with background, be Arabic or Alphabetical letters a minimum of 4 inches tall with a minimum stroke of 1/2".
- Ignition-resistant material.** Ignition-resistant material shall be determined in accordance with the test procedures set forth in SFM Standard 12-7A-5 "Ignition-Resistant Material".
- Defensible Space: The existence or maintenance of any of the following conditions is prohibited:
  - Tree branches within 10 feet of a chimney outlet or stovepipe outlet;
  - Dead or dying tree branches adjacent to or overhanging a building;
  - Leaves, needles, or other dead vegetative growth on the roof of any structure;
  - Flammable vegetation or other combustible growth within 30 feet of an occupied dwelling or structure that prevents the creation of a firebreak;
  - Brush, flammable vegetation, or combustible vegetation located between 30 and 100 feet of an occupied dwelling or structure that prevents the creation of a Reduced Fuel Zone;
  - Brush or other flammable material within 10 feet of a propane tank.

**TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES**

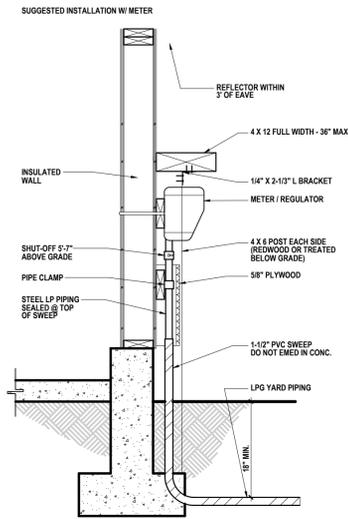
- All finished grades adjacent to structures shall be sloped away at a minimum slope of 2%. Slope to be generated from structure and sloping down (out) and away to diversion cobbles swale, drain or approved retention basin.
- Any and all excavated soil shall be removed from Job Site or stored on Job Site must be stabilized with approved Hay waddle rolls or with Fiber rolls.
- Erosion and Sediment control measures as shown and noted on plans are meant to meet the intent of the California Regional Water Control Board - Lahontan Region, Resolution No. 6-91-926 requirements.
- Cut and Fill slopes shall not exceed a ratio of (2:1) two units horizontal to one unit vertical.

**OUTDOOR WATER USE & LANDSCAPING**

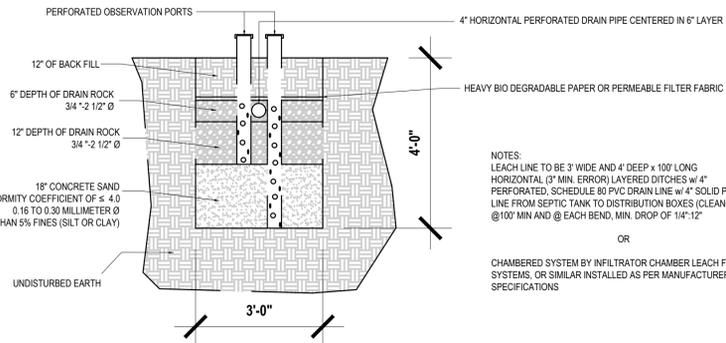
- New residential developments with aggregate landscape area equal to or greater than 500 sq. ft. shall comply with one of the following options:
  - A local water efficient landscape ordinance of the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWEL0), whichever is more stringent; or
  - Projects with aggregate landscape area less than 2,500 sq. ft. may comply with MWEL0's Appendix D Prescriptive Compliance Option.

**UTILITY CONNECTIONS**

- The location of electrical service panel must be approved by S.C.E.
- See A2.1 for LPG specific installation notes.
- See Detail 1/A1 for LPG Regulator protection & shut off information.
- An approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve. Cleanouts for drains that pass through the backwater valve shall be clearly identified with a permanent label stating 'BACKWATER VALVE DOWNSTREAM'

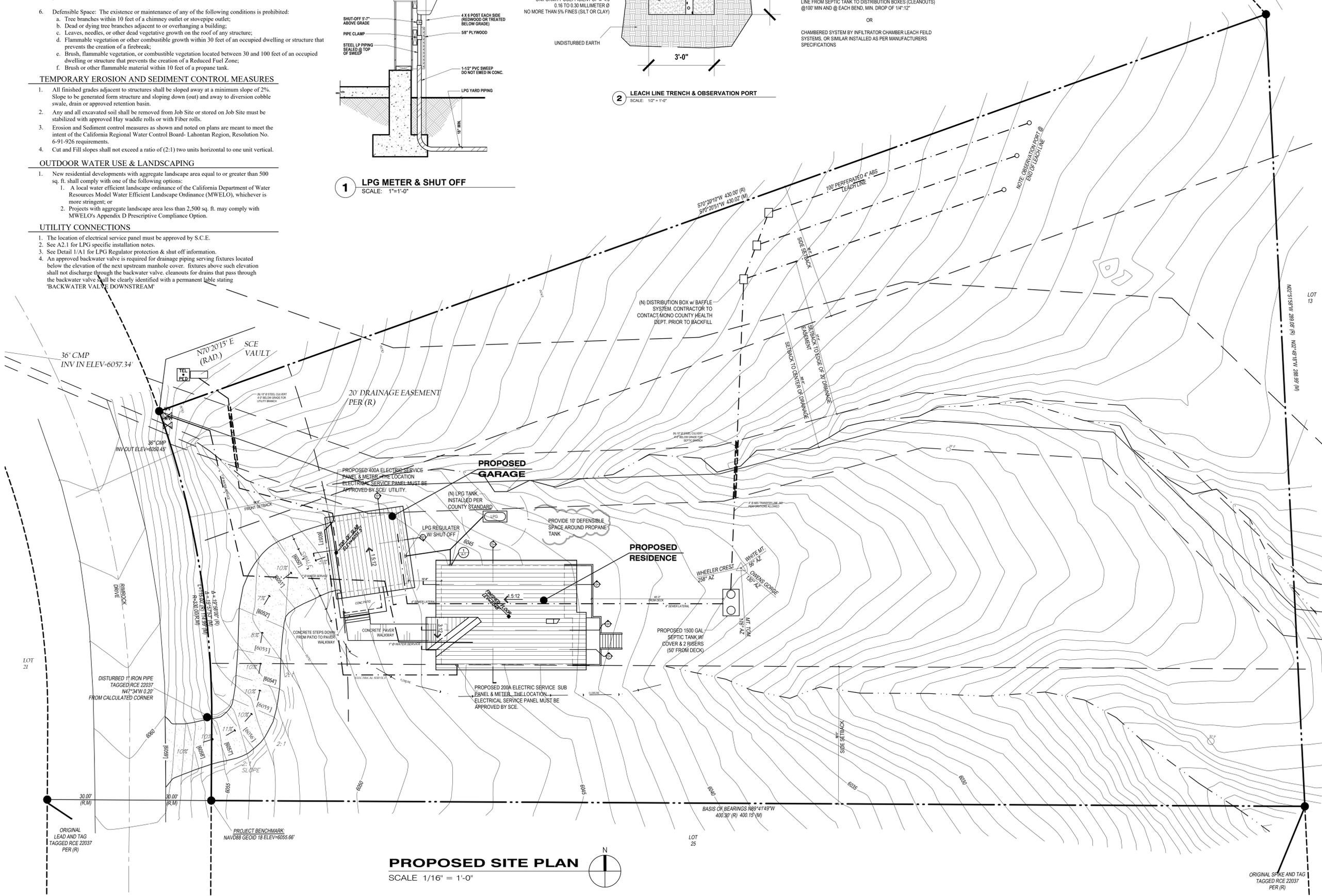


**1 LPG METER & SHUT OFF**  
SCALE: 1"=1'-0"



**2 LEACH LINE TRENCH & OBSERVATION PORT**  
SCALE: 1/2"=1'-0"

NOTES:  
LEACH LINE TO BE 3' WIDE AND 4' DEEP x 100' LONG  
HORIZONTAL (1% MIN. ERROR) LAYERED DITCHES w/ 4"  
PERFORATED, SCHEDULE 80 PVC DRAIN LINE w/ 4" SOLID PVC  
LINE FROM SEPTIC TANK TO DISTRIBUTION BOXES (CLEANOUTS)  
@100' MIN AND @ EACH BEND, MIN. DROP OF 1/4" 12"  
OR  
CHAMBERED SYSTEM BY INFILTRATOR CHAMBER LEACH FIELD  
SYSTEMS, OR SIMILAR INSTALLED AS PER MANUFACTURERS  
SPECIFICATIONS



Craig Tapley

**CARDOZA Family Residence**  
CLIENT NAME: IAN CARDOZA  
CONTACT ADDRESS:  
3681 BOREN ST.  
SAN DIEGO, CA 92115  
569 PIMROCK RD.  
SWALL MEADOWS CA, 93529

**REVISIONS**

PLAN CHECK REV.	03-15-24 CWT
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DESIGN DIMENSION & ASSOC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM DESIGN DIMENSION & ASSOC.

**PROPOSED GARAGE  
 GROUND FLOOR PLAN**

Craig Tapley

**CARDOZA Family Residence**  
 CLIENT NAME: IAN CARDOZA  
 CONTACT NAME: IAN CARDOZA  
 PH: 619.647.7305  
 3681 BOREN ST.  
 SAN DIEGO, CA 92115  
 660 PIMROCK RD.  
 SWALL MEADOWS CA, 93259  
 PROJECT ADDRESS:  
 A/P/N: 064-200-024-000

REVISIONS

NOV. 2023  
 SCALE: AS SHOWN  
 DRAWN: CWT/FC  
 PRINTED: 3.19.24

SHEET  
**A3.1**

**CALIFORNIA BUILDING CODE SPECIFICS REQUIRED per PLAN**

Submittal documents for deferred submittal items such as **ROOF TRUSSES or STRUCTURAL STEEL and SPECIAL INSPECTIONS** shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

**Glazing** in the following locations should be of safety glazing material in accordance with section R308 (See exceptions):

- A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor CRC, R-310.

**Guardrails**

- A.) Shall have a MINIMUM height of 42"
- B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 4".

**Handrails**

- A.) Handrails are required on each side of stairways. Stairways less than 44" wide at stairways serving one dwelling unit may have one handrail (if not open on both sides).
- C.) Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- D.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded terminations or bends.

**Attic ventilation** openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

**Anchor Bolt Requirements**

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4- 3/8" (and a maximum of 12").  
 Plate washers (minimum size of 3" x 3" x .0299") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

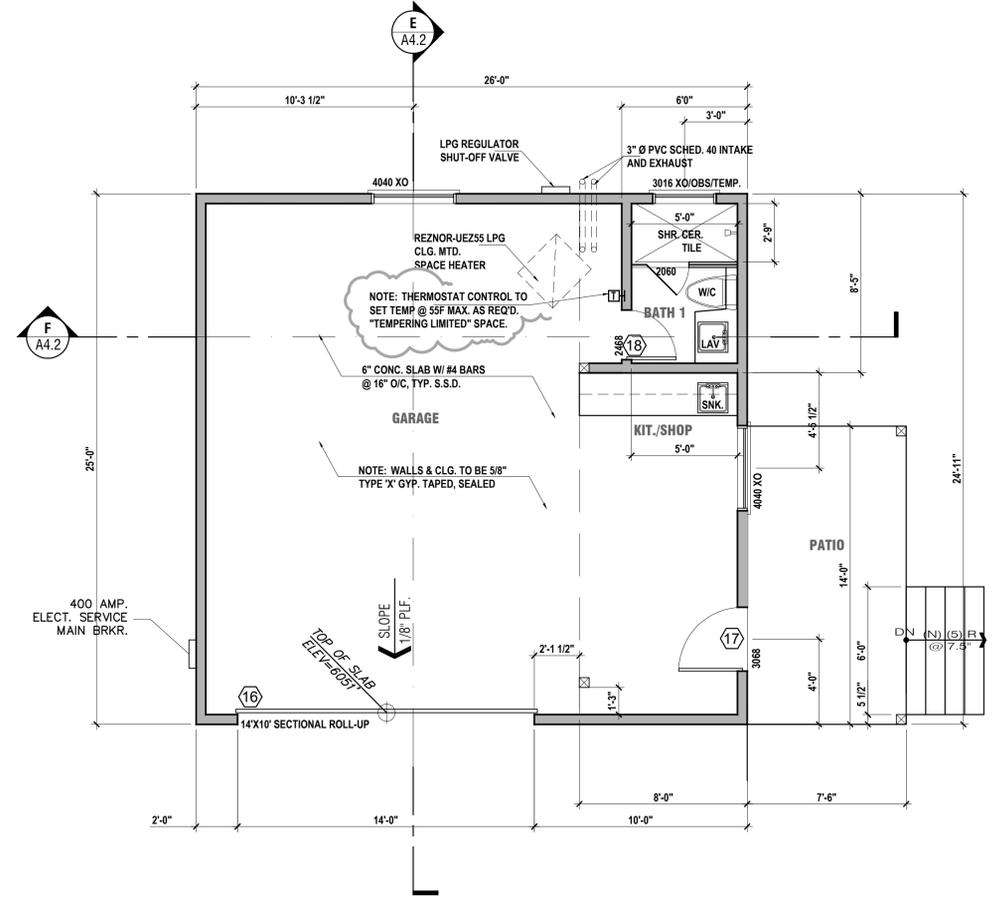
A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210.52(d).

**NOTES:**

1. All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code CEnC), 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
2. Combination Smoke / Carbon Monoxide Detectors to be supplied/placed @ all bedrooms, corridors leading to bedrooms, above top of stairs and at least one at every level. They should be hardwired to a primary power source and be supported by battery back up,wire to audible alarm system (CRC R315.1).
  - a. Smoke detectors to be hard wired to primary power source and must be equipped with battery back-up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
  - b. Lpg detectors to be hard wired to primary power source and must be equipped with battery back up; as well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
3. Use 1-layer 5/8" type "X" Gyp. Bd. @ Garage walls & Ceiling. All joints to be taped and sealed, paint finish. Provides for occupancy separation as installed per 2019 CBC requirements.
4. All interior walls to be 2x4, U.N.O.
5. All exterior walls to be 2x6, U.N.O.
6. All dimensions on plans override actual scale, contractor to contact Designer prior to any changes or deviations from plan.
7. Any new wood construction or framing required per plan shall meet or exceed any requirements of 2019 CBC.
8. Any doors that have glazing are required to be tempered glass.
9. Any windows or glazing with in 2'-0" from end of door swing to be tempered.
10. All egress windows may exceed the following dimensions: Clear openable area of 5.7 sq.ft. Clear width of 20" min. and a Clear Height of 24" min. Not to exceed 44" above finished floor per CRC R310.2
11. All LPG appliances to be directly vented to roof or exterior termination addressing all requirements per Mfr. specifications.
12. Provide LPG Sensor/Alarm @ all appliances and lowest point of floor area, and provide @ subfloor, wire to audible alarm system.
13. Proposed Water Heater, NAVIEN Flash Boiler NPE-150 S2, 15K- 150K BTU/Hr.,.96% eff. LPG Fired conform to 2022 CBC requirements. Contractor to provide drain from appliance to exterior of building via PVC piping. New appliance supply to be connected to House plumbing system. Refer to Title 24 calculations on sheet T-1.
14. Proposed House heating to be provided by YORK TG9S LATITUDE, LPG fired 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sht. T-1.
15. House to be provided with Code required Panasonic FV-10 Heat Recovery Unit. Located in Laundry room Ceiling with Mfr. ducting from exterior make up air to unit, then from unit to exterior.
16. All windows at exterior to be Aluminum tempered, dual pane, thermally broken .30 U-factor max.
17. All new glazing shall be installed with labels which shall remain in place for inspection.
18. Provided all required LPG drains, venting per Mfr. @ Mechanical appliances, to allow protection for equipment at their specific locations and brought to exterior via Class b vent for exhaust or PVC for liquid.
19. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas (CRC R702.4.2)
20. The residence shall have address numbers placed in a position that is plainly legible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and a minimum of 4" high with a minimum stroke of 1/2" (CRC R319.1).
21. Per practice through Design Dimension suggests Gas and Carbon Monoxide detectors need to be verified/installed throughout the residence per CRC R314.3, etc. Liquid Propane Gas sensors need to be located in the lowest point of the residence and lowest point of any under floor crawl space and connected to an audible alarm within the living area(s).Carbon monoxide detectors (or combo smoke/monoxide detectors) are needed within 20' of combustion appliances including, Natural Gas, Propane, woodstoves, etc., in close proximity to the bedrooms. Carbon monoxide alarms to be "listed" as complying with UL 2034 and UL 2075. CRC R315.3
22. All exterior Glue Laminated Beams to be protected from elements with roof cover and treated with a minimum of Semi-Transparent oil based stain.
23. All exterior mounted vents for Bathroom fans, Kitchen hoods, clothes dryer, to be protected with a metal back draft damper that is fit into the wall mounted GI, ICBO approved protected appropriate device. The vent termination should be water tight and painted to match exterior.
24. Where valley flashing is installed, the flashing shall not be less than .019-inch, 26 gage galvanized sheet or match color of drip edge metal corrosion-resistant metal installed over not less than one layer of minimum 72 pound mineral- surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36" wide running the full length of the valley.
25. Site information provided by owner
26. All wood exposed to weather shall be of preservative-treated per CRC R317.1. Further, connectors for pressure treated or fire retardant treated wood are hot-dipped zinc coated galvanized steel, stainless steel, silicon bronze or copper. Coating types shall be per manufacturer recommendations or as a minimum can be mechanically deposited zinc-coated galvanized steel. CRC R317.3
27. All adhesives, sealants, caulking, paints and coatings shall not exceed the limits specified in CGBSC Section 4.504.2.1.
28. At the time of final inspection, an Operation and Maintenance manual shall be provided to the building occupant or owner describing (CGBSC Section 4.410)
29. At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all ducts and other air related distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to reduce the amount of dust or debris which may collect in the system.
30. All exterior windows and exterior doors to be dual glazed with "owner approved" color. Windows are to be of a Alum. thermally broken manufactured frame. All exterior doors to be dual pane tempered glass. Refer to plans to verify windows that are to be tempered.
30. Instantaneous water heaters or "Flash Boilers" with an input rating greater than 6.8 kBtu/hr shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibbs or other fittings on each valve for flushing the water heater when the valves are closed (110.36.47.1) California Energy Code



**PROPOSED GARAGE FLOOR PLAN**

SCALE 1/4" = 1'-0"

**Area Calcs**

GARAGE/SHOP AREA	=	650 SQ.FT.
PATIO AREA	=	105 SQ.FT.

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**CALIFORNIA BUILDING CODE SPECIFICS REQUIRED per PLAN**

Submittal documents for deferred submittal items such as **ROOF TRUSSES** or **STRUCTURAL STEEL** and **SPECIAL INSPECTIONS** shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

**Glazing** in the following locations should be of safety glazing material in accordance with section R308 (See exceptions):

- A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor CRC, R-310.

**Guardrails**

- A.) Shall have a MINIMUM height of 42"
- B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 4".

**Handrails**

- A.) Handrails are required on each side of stairways. Stairways less than 44" wide at stairways serving one dwelling unit may have one handrail (if not open on both sides).
- C.) Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- D.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded terminations or bends.

**Attic ventilation** openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

**Anchor Bolt Requirements**

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4-3/8" (and a maximum of 12").

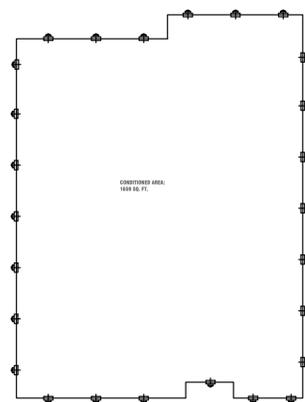
Plate washers (minimum size of 3" x 3" x .0299") shall be used on each anchor bolt.

Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsula countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).



**OPTION 1 FOUNDATION VENT CALCULATION**  
 -CRAWLSPACE EQUALS 1,659 SQ. FT. x 144 = 238,896 / 150 = 1,592.64 SQ. IN. REQUIRED  
 -VULCAN VENT VFS814FF = 62 SQ. IN. OF VENTILATION PER VENT.  
 26 VENTS x 62 N.F.V.A. = 1,612 SQ. IN. OF VENTILATION PROVIDED  
 VULCAN 16"x8" VFS814-FF  
 FOUNDATION VENT OPENINGS SHALL COVERED WITH OPENINGS NOT EXCEEDING 1/4"

**Foundation Vent Calcs**

**HEAT PUMP INSTALLATION:** For future heat pump water heater installation per CBES 150.0(n). When Gas or Propane water heater is used, a space at least 2 1/2 x 2 1/2 x 7' tall for a future heat pump water heater (HPWH) is required meeting either of the requirements below (meeting all applicable California Electrical Code requirements):

- A. If the HPWH is within 3 ft. of the installed water heater, the following are required:
  - i. A dedicated, 125-volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240-volt 3 conductor, 10-AWG copper branch circuit within 3 ft. of the water heater.
  - ii. Labeling both ends of the unused conductor "Spares" and isolating them electrically.
  - iii. A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit in (i) above and label it "Future 240V Use".
- B. A condensate drain that is no more than 2" higher than the base allowing for natural draining.
- C. If the HPWH space is >3 ft. from the installed water heater, the following are required:
  - i. A dedicated, 240-volt branch circuit rated at 30 amps minimum installed within 3 ft. of the space labeled as "240V ready".
  - ii. Reserved space in the main electrical service panel to allow for the installation of a double pole circuit breaker permanently labeled "For Future 240V use".
  - iii. Dedicated cold water supply to (or cold water supply running through) the HPWH space before it serves the installed water heater.
  - iv. Hot water supply from the installed water heater that is routed to the HPWH space before serving any fixtures.
  - v. Hot and Cold water supply that are exposed and readily accessible for future HPWH.
  - vi. A condensate drain that is no more than 2 inches higher than the base allowing for natural draining.

**ENERGY STORAGE SYSTEMS:** For all single family residences, that include one or two dwelling units shall meet the following. All electrical components shall be installed in accordance with the CALIFORNIA ELECTRICAL CODE:

1. At least one of the following shall be provided:
  - A. ESS Ready interconnection equipment with a minimum backup capacity of 60 amps and a minimum of four ESS supplied branch circuits, or
  - B. A dedicated recovery from the main service to a panelboard (subpanel) that supplies the branch circuits in 150.0(a)(2). All branch circuits are permitted to be supplied by the main service panel prior to the installation of an ESS. The trade size of the raceway shall not be less than one inch. The panelboard that supplies the branch circuits (subpanel) must be labeled "Subpanel shall include all backup load circuits".
2. A minimum of four branch circuits shall be identified and have their source of supply outlined at a single panelboard suitable to be supplied by the ESS. At least one circuit shall supply the refrigerator, one lighting circuit shall be located near the primary egress, and at least one circuit shall supply a sleeping room receptacle outlet.
3. The main panelboard shall have a minimum busbar rating of 225 amps.
4. Sufficient space shall be reserved to allow future installation of system isolation equipment/transfer switch within 3 feet of the main panelboard. Raceways shall be installed between the panelboard and the system isolation equipment/transfer switch location to allow the connection of backup power source.

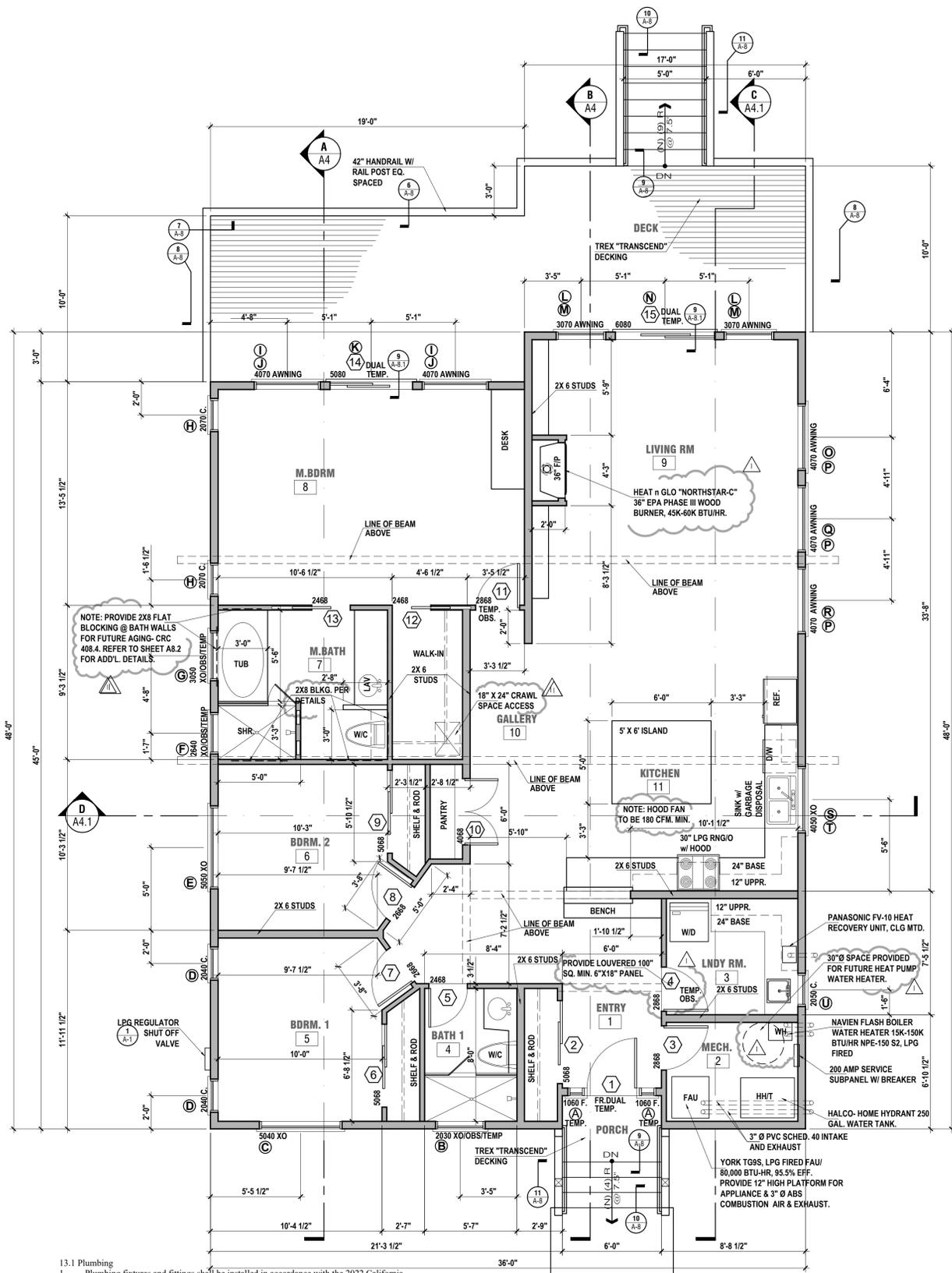
**SYSTEMS USING GAS OR PROPANE APPLIANCE ARE PROPOSED, PROVIDE THE FOLLOWING TO COMPLY WITH SECTION 150.0(b)(1)(v):**

A dedicated 240 volt branch circuit wiring shall be installed within 3 feet from the furnace and accessible to the furnace with no obstructions. The branch circuit conductors shall be rated at 30 amps minimum. The blank cover shall be identified as "240V ready". All electrical components shall be installed in accordance with the California Electrical Code.

The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future electric appliance installation. The reserved space shall be permanently marked as "For Future 240V use".

**NOTES:**

1. All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code CEnC, 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
2. Combination Smoke / Carbon Monoxide Detectors to be supplied/placed @ all bedrooms, corridors leading to bedrooms, above top of stairs and at least one at every level. They should be hardwired to a primary power source and be supported by battery back up, wire to audible alarm system (CRC R315.1).
  - a. Smoke detectors to be hard wired to primary power source and must be equipped with battery back-up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
  - b. Lpg detectors to be hard wired to primary power source and must be equipped with battery back up; as well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
3. Use 1-layer 5/8" type "X" Gyp. Bd. @ Garage walls & Ceiling. All joints to be taped and sealed, paint finish. Provides for occupancy separation as installed per 2019 CBC requirements.
4. All interior walls to be 2x4, U.N.O.
5. All exterior walls to be 2x6, U.N.O.
6. All dimensions on plans override actual scale, contractor to contact Designer prior to any changes or deviations from plan.
7. Any new wood construction or framing required per plan shall meet or exceed any requirements of 2019 CBC.
8. Any doors that have glazing are required to be tempered glass.
9. Any windows or glazing with in 2'-0" from end of door swing to be tempered.
10. All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and a Clear Height of 24" min. Not to exceed 44" above finished floor per CRC R310.2.
11. All LPG appliances to be directly vented to roof or exterior termination addressing all requirements per Mfr. specifications.
12. Provide LPG Sensor/Alarm @ all appliances and lowest point of floor area, and provide @ sub/floor, wire to audible alarm system.
13. Proposed Water Heater, NAVIEN Flash Boiler NPE-150 S2, 15K- 150K BTU/Hr.,96% eff. LPG Fired ,conform to 2022 CBC requirements. Contractor to provide drain from appliance to exterior of building via PVC piping. New appliance supply to be connected to House plumbing system. Refer to Title 24 calculations on sheet T-1.
14. Proposed House heating to be provided by YORK TG9S LATITUDE, LPG fired 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sht. T-1.
15. House to be provided with Code required Panasonic FV-10 Heat Recovery Unit. Located in Laundry room Ceiling with Mfr. ducting from exterior make up air to unit, then from unit to exterior.
16. All windows at exterior to be Aluminum tempered, dual pane, thermally broken .30 U-factor max.
17. All new glazing shall be installed with labels which shall remain in place for inspection.
18. Provided all required LPG drains, venting per Mfr. @ Mechanical appliances, to allow protection for equipment at their specific locations and brought to exterior via Class B vent for exhaust or PVC for liquid.
19. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas (CRC R702.4.2)
20. The residence shall have address numbers placed in a position that is plainly legible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and a minimum of 4" high with a minimum stroke of 1/2" (CRC R319.1).
21. Per practice through Design Dimension suggests Gas and Carbon Monoxide detectors need to be verified/installed throughout the residence per CRC R314.3, etc. Liquid Propane Gas sensors need to be located in the lowest point of the residence and lowest point of any under floor crawl space and connected to an audible alarm within the living area(s). Carbon monoxide detectors (or combo smoke/monoxide detectors) are needed within 20' of combustion appliances including, Natural gas, Propane, woodstoves, etc., in close proximity to the bedrooms. Carbon monoxide alarms to be "listed" as complying with UL 2034 and UL 2075. CRC R315.3
22. All exterior Glue Laminated Beams to be protected from elements with roof cover and treated with a minimum of Semi-Transparent oil based stain.
23. All exterior mounted vents for Bathroom fans, Kitchen hoods, clothes dryer, to be protected with a metal back draft damper that is fit into the wall mounted GI, ICBO approved protected appropriate device. The vent termination should be water tight and painted to match exterior.
24. Where valley flashing is installed, the flashing shall not be less than .019-inch, 26 gage galvanized sheet or match color of drip edge metal corrosion-resistant metal installed over not less than one layer of minimum 72 pound mineral- surfaced non-perforated cap sheet complying with ASTM D 3909, at least 36" wide running the full length of the valley.
25. Site information provided by owner
26. All wood exposed to weather shall be of preservative-treated per CRC R317.1. Further, connectors for pressure treated or fire retardant treated wood are hot-dipped zinc coated galvanized steel, stainless steel, silicon bronze or copper. Coating types shall be per manufacturer recommendations or as a minimum can be mechanically deposited zinc-coated galvanized steel. CRC R317.3
27. All adhesives, sealants, caulking, paints and coatings shall not exceed the limits specified in CGBC Section 4.504.2.1.
28. At the time of final inspection, an Operation and Maintenance manual shall be provided to the building occupant or owner describing (CGBC Section 4.410)
29. At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all ducts and other air related distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to reduce the amount of dust or debris which may collect in the system.
30. All exterior windows and exterior doors to be dual glazed with "owner approved" color. Windows are to be of a Alum. thermally broken manufactured frame. All exterior doors to be dual pane tempered glass. Refer to plans to verify windows that are to be tempered.
30. Instantaneous water heaters or "Flash Boilers" with an input rating greater than 6.8 kBtu/hr shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibbs or other fittings on each valve for flushing the water heater when the valves are closed. (110.3(c)(7)) California Energy Code.



- 13.1 Plumbing
  1. Plumbing fixtures and fittings shall be installed in accordance with the 2022 California Plumbing Code, and shall meet the applicable referenced standards.
  2. Shower and Tub-Shower Combination Control Valves. Showers and tub-shower combinations in buildings shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide seal and thermal shock protection. These valves shall conform to ASSE 1016, "Standard for Automatic Compensating Valves for Individual Showers and Tub-Shower Combinations", or ASME A112.18.1 CSA B125.1, "Standard for Plumbing Supply Fittings". Handle position stops shall be provided on such valves and shall be adjusted per the manufacturer's instructions to deliver a maximum mixed water setting of 120 degrees. The water heater thermostat shall not be considered a suitable control for meeting this provision.
  3. An approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve. Clean outs for drains that pass through the backwater valve shall be clearly identify with a permanent label stating "BACKWATER VALVE DOWNSTREAM".
  4. Under floor clean-out shall be located not exceeding 5' from an access door, door trap, or crawl hole. (CPC 707.9.)
  5. All domestic hot water piping systems shall be insulated per 2022 Energy Code.

**PROPOSED GROUND FLOOR PLAN**

SCALE 1/4" = 1'-0"

**Area Calcs**

CONDITIONED AREA	=	1,659 SQ.FT.
UNCOVERED DECK/PORCH	=	441 SQ.FT.

**DESIGN DIMENSION ASSOCIATES**  
 ASSOCIATES  
 PLANNING  
 STRUCTURES

P O BOX 7193  
 MAMMOTH LAKES, CA 93946  
 TEL/FAX (760) 934-4348

PROPOSED HOUSE  
 GROUND FLOOR PLAN

Craig Tapley

**CARDOZA Family Residence**

CLIENT NAME: IAN CARDOZA

CONTACT ADDRESS:  
 3661 BOREN ST.  
 SAN DIEGO, CA 92115  
 560 PIMROCK RD.  
 SWALL MEADOWS CA, 93529

PH. 619 647 7305

PROJECT ADDRESS:  
 A/PN: 064-200-024-000

**REVISIONS**

PLAN CHECK REV. 03-15-24 CWT

NOV. 2023  
 SCALE: AS SHOWN  
 DRAWN: CWT/JC  
 PRINTED: 3.19.24  
 SHEET

A3

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**PROPOSED HOUSE  
 ELEVATIONS 'SOUTH', 'WEST'**

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Craig Tapley

**CARDOZA Family Residence**  
 CLIENT NAME: IAN CARDOZA  
 CONTACT NAME: IAN CARDOZA  
 PH: 619.647.7305  
 3681 BOREN ST., SAN DIEGO, CA 92115  
 660 RIMROCK RD., SWALL, MEADOWS CA, 93259  
 PROJECT ADDRESS:  
 APN: 064-200-024-000

**REVISIONS**

NOV. 2023  
 SCALE: AS SHOWN  
 DRAWN: CWT/FC  
 PRINTED 3.19.24  
 SHEET

**A5**

**CBC SPECIFICS REQUIRED per PLAN**

Submittal documents for deferred submittal items such as **ROOF TRUSSES or STRUCTURAL STEEL and SPECIAL INSPECTIONS** shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

**Glazing** in the following locations should be of safety glazing material in accordance with section 2406.4 (See exceptions):

- A.) Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- B.) Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor per CBC.

**Guardrails**

- A.) Shall have a height of 42"
- B.) Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 6".

**Handrails**

- A.) Handrails are required on each side of stairways. Stairways less than 44" wide of stairways serving one dwelling unit may have one handrail (if not open on both sides).
- B.) Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- C.) The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded terminations or bends.

**Attic ventilation** openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

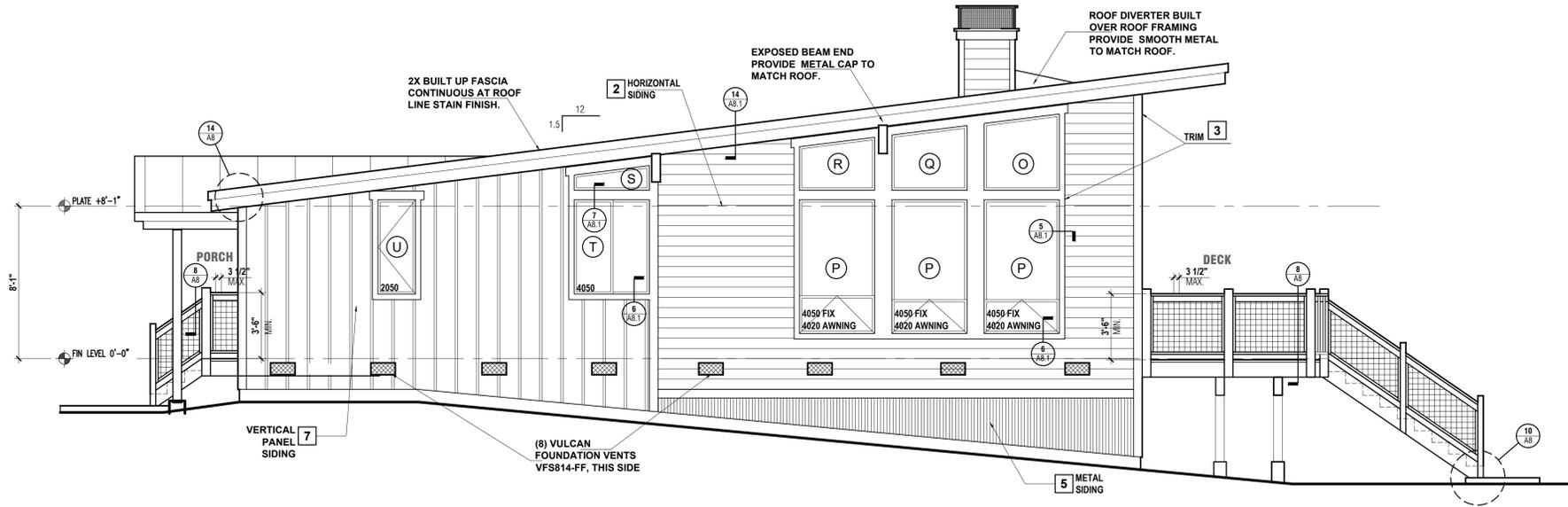
**Anchor Bolt Requirements**

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4-3/8" (and a maximum of 12"). Plate washers (minimum size of 2" x 2" x 3/16") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).



**PROPOSED HOUSE / SOUTH ELEVATION**

SCALE 1/4"=1'-0"



**MAIN BUILDING COLOR- MEEK MOSS GREEN  
 DUNN-EDWARDS #DET606**



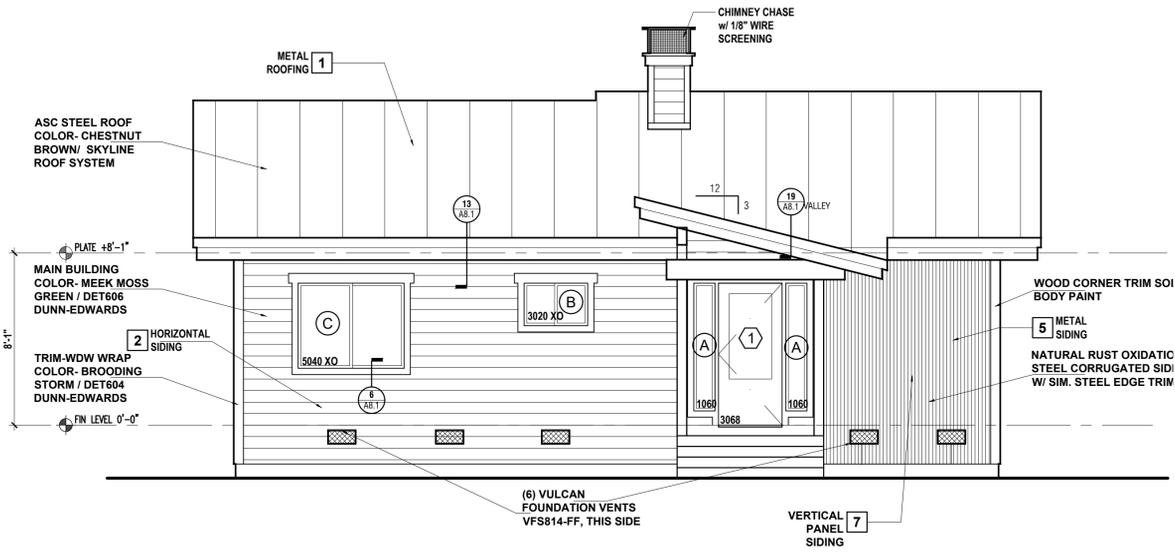
**TRIM-FASCIA WDW WRAP COLOR- BROODING STORM  
 DUNN-EDWARDS #DET604**

- For fireplace/chimney specify the following:
- Chimney shall extend at least 2 ft higher than any portion of the building within 10 ft, but shall not be less than 3 ft above the highest point where the chimney passes through the roof. [CRC R1003.9]
  - Masonry chimney shall have a chimney cap (concrete, metal, or stone) sloped to shed water, a drip edge and a caulked bond break around any flue liners. [CRC R1003.9.1]
  - Rain cap when installed must have a minimum clearance above the flue termination to provide a net clear area of four times the free area of the flue [CRC R1003.9.3]
  - Reinforce masonry or concrete chimney per [RC R1003.3] and anchor chimney to floor and roof/ceiling line per [CRC R1003.4.]

- For factory-built metal fireplace specify [CRC R1004]:
- Manufacturer, model and ICBO/UL number, see Proposed Floor Plan.
  - Installation and use shall be in accordance with Manufacturer's listing.
  - Non-vented fireplaces or gas fired appliances are not permitted.
  - Factory-built chimney maximum offset is 30 degrees vertically and shall not have more than 4 elbows. [CRC R1005.7]
  - Fireplace gas valves must be located not more than 6 ft unless listed for installation in the fireplace. [CPC 1212.5]

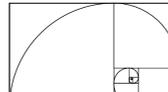
**Exterior Facade Specifications:**

- STANDING SEAM METAL ROOFING:**  
Standing seam metal roofing by 'ASC' Manufacturing, style to be "SKYLINE", color "CHESTNUT BROWN", Class A Fire Rated, verify with owner. Provide Butthene Ice and Watershield Underlayment at all roof valleys, overhangs and at walls. All adjacent surfaces shall be flashed at walls, pitch changes, etc. Contractor to install all roofing products, per mfr. specifications. Drip edge, G.I. flashing, gutters, caps etc., any parts in common with roofing material shall be painted to match roof' accent color.
- HORIZONTAL SIDING:**  
Exterior siding shall be 5/8" x 10" JAMES-HARDY ARTISAN LAP, beveled siding to match existing siding. Install o' Tyvek housewrap paper o' plywood shear wall with 2-8d nails @ 48" o.c. or per board per bearing. Use 3-10d nails @ board ends and splices. Verify Paint & sealer w/ designer. Paint color per DUNN-EDWARDS to be solid body exterior quality, color MEEK MOSS GREEN/ DET 606 per owners desire.
- WINDOW TRIM AND CORNERS:**  
All window trim to be 2x6, 2x4 RS cedar material, sill trim to be 2x4 RS cedar paint to accent main siding field. All window trim to be placed prior to siding, which will terminate at window aluminum extruded mould. Caulk joint of trim to siding to prevent any water infiltration. Corner trim to be 2x6 RS cedar material one side and 2x4 RS cedar at 90 degrees. Accent to match window trim in texture and color. In essence all corner profiles to have a 6" reveal. Corner to be placed prior to siding to allow for water tight, and a superior corner structure. All corner trim to be attached with 2-10d nails @ 48" o/c with 2 nails at all ends. Stain color per DUNN-EDWARDS to be solid body exterior quality, Color - BROODING STORM/ DET 604 per owner's desire.
- STONE VENEER:**  
CHIEF JOSEPH or KOOTENAI LedgeStone, Large Flag field pattern to be applied per 2016 CRC, Section R703.3.1. Provide 2 layers of waterproof paper backing applied directly to plywood (edx). A minimum of a No. 17 Gage wire ties to be attached to plywood @ 16" o.c., each way w/ 8d wire nails. A minimum of 1" mortar bed, wire to extend through grout spaces a minimum of 1".
- METAL SIDING:**  
Exterior Metal siding shall be HORIZONTAL pattern, HC 50 metal CORETEN, panel size by owner. Install o' tyvek housewrap paper o' plywood shear wall with attachments per mfr. Use all required trim and flash metal at all ends and terminations. Verify pattern and color w/ designer prior to installation.
- DECKING MATERIAL:**  
Trex "TRANSCEND" series composite deck material, installed per mfr. specifications. Or "Tufflex" Polycoat decking system, application of the Class A polymer to follow strict requirements by the manufacturer. Both systems are approved by the ICC as Class A ignition resistant materials.
- VERTICAL BATTEN SIDING:**  
Use HARDIETRIM 3/4"x3.5" Vertical Battens installed over HARDIETRIM Smooth. All required GI flashing to be applied at top and bottom of all exterior siding. Use 2-8d nails @ 24" vert. for batten, 2 nails 3" from ends. Panels to be placed over Tyvek Housewrap, which will be placed over exist, siding all required counter flashing to be installed. Prior to placement of new material. Verify Paint & Sealer w/ designer. Color per DUNN-EDWARDS to be solid body exterior quality. Paint and Stain color MEEK MOSS GREEN/ DET 606 per owners desire.



**PROPOSED HOUSE / WEST ELEVATION**

SCALE 1/4"=1'-0"



**DESIGN  
DIMENSION  
ASSOCIATES**

**DESIGN  
PLANNING  
STRUCTURES**

P O BOX 7193  
MAMMOTH LAKES, CA 93246  
TEL/FAX (760) 934-4348

**PROPOSED HOUSE  
ELEVATIONS 'NORTH', 'WEST'**

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*Craig Tapley*

**CARDOZA Family Residence**  
CLIENT NAME: IAN CARDOZA

CONTACT ADDRESS:  
PROJECT ADDRESS:  
APN: 064-200-024-000

3681 BOREN ST.  
SAN DIEGO, CA 92115  
569 PIMROCK RD.  
SWALL MEADOWS CA, 93529

**REVISIONS**

NOV. 2023  
SCALE: AS SHOWN  
DRAWN: CWT/FC  
PRINTED 3.19.24  
SHEET

**A5.1**

**WILDLAND-URBAN INTERFACE CODE (W.U.I.)**

- ALL EXTERIOR MATERIALS TO COMPLY WITH THE WILDLAND-URBAN INTERFACE BUILDING STANDARDS 2022 CRC R337. REQUIREMENTS FOR THE DEFENSIBLE SPACE OF THE PROJECT TO BE PER CFC 4906 & 4907 AND IN ACCORDANCE WITH CPCRC 4290.

**ROOFING (CRC 2022 SECT. R337.5)**

- ROOF SHALL COMPLY WITH R337.5 AND CRC 2022 R902.
- WHERE ROOFING PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF SHEATHING, THE ROOFING SHALL BE INSTALLED PER CRC 2022 R337.5.2.
- ROOF VALLEYS SHALL COMPLY WITH CRC 2022 R337.5.3. VALLEY FLASHING SHALL BE 26 GA. GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909, AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH OF THE VALLEY- IN ADDITION TO THE UNDERLAYMENT ALREADY REQUIRED.
- NOTE: USE NO.22 GALVANIZED SHEET CORROSION-RESISTANT/ ANODIZED, IN HIGH SNOW LOAD APPLICATIONS.
- ROOF GUTTERS SHALL COMPLY WITH CRC 2022 R337.5.4. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

**VENTS (CRC 2022 SECT. R337.6)**

- ALL ROOF VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH 2019 CRC R337.6. ROOF VENTILATION SHALL COMPLY W/ CRC R806
- ROOF AND ATTIC VENTS MUST BE CORROSION RESISTANT AND MADE OF NON-COMBUSTIBLE MATERIAL WITH 1/8 INCH MESH (MAX).
- EAVE AND CORNICE VENTS CAN ONLY BE USED IF THEY ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS. PER CRC 2022 CRC R337.6.2.

**EAVES (CRC 2022 SECT. R337.7.4)**

- EAVES AND SOFFITS SHALL BE PROTECTED ON THE EXPOSED UNDERSIDE BY IGNITION RESISTANT MATERIALS APPROVED FOR A MINIMUM OF 1-HOUR RATED CONSTRUCTION 2X NOMINAL DIMENSIONED LUMBER, 1X NOMINAL FIRE RETARDANT LUMBER, OR 3/4" FIRE RETARDANT PLYWOOD PRODUCT.
- FASCIAS ARE REQUIRED AND SHALL BE IGNITION RESISTANT, 1-HOUR RATED, OR OF 2x NOMINAL DIMENSIONAL LUMBER.

**EXTERIOR PORCH CEILINGS (CRC 2022 SECT. R337.7.6)**

- THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL.
  - IGNITION-RESISTANT MATERIAL.
  - ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
  - PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN EITHER OF THE FOLLOWING:
    - SFM STANDARD 12-7A-3; OR
    - ASTM E2957
- EXCEPTION: ARCHITECTURAL TRIM BOARDS.

**EXTERIOR WINDOWS AND DOORS (CRC 2022 SECT. R337.8)**

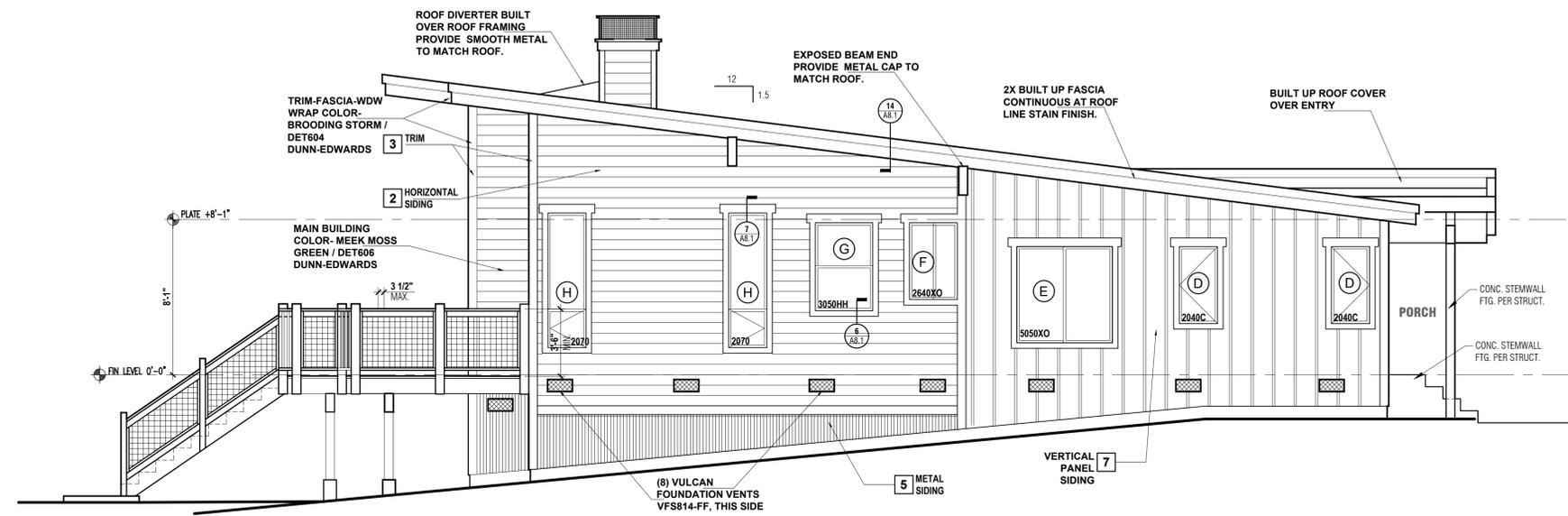
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
  - BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR
  - BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
  - HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
  - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- EXTERIOR DOORS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
- ALL EXTERIOR DOORS SHALL HAVE AN EXTERIOR CLADDING OF IGNITION RESISTANT MATERIAL OR BE OF SOLID CORE CONSTRUCTION COMPLIANT WITH SECTION 337.8.3.

**DECKING (CRC 2022 SECTION R337.9)**

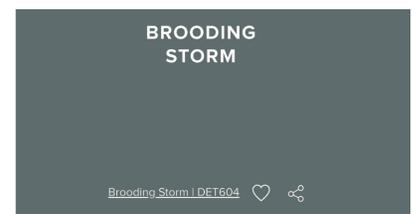
- THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION.
- WHERE REQUIRED, THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION WHEN ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING.
- DECKING SURFACES, THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS:
  - IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.
  - EXTERIOR FIRE RETARDANT TREATED WOOD.
  - NONCOMBUSTIBLE MATERIAL.
  - ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
- EXCEPTION: WALL MATERIAL MAY BE OF ANY MATERIAL THAT OTHERWISE COMPLIES WITH THIS CHAPTER WHEN THE DECKING SURFACE MATERIAL COMPLIES WITH THE PERFORMANCE REQUIREMENTS ASTM

**EXTERIOR WALLS (CRC 2022 SECT. R337.7.3)**

- EXTERIOR WALL COVERING OR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION-RESISTANT MATERIAL
  - SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMAL NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SPLINED, TOUNGE AND GROVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
  - LOG WALL CONSTRUCTION ASSEMBLY.
  - WALL ASSEMBLIES THAT HAVE BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN ASTM E2707 WITH CONDITIONS OF ACCEPTANCE SHOWN IN SECTION R337.7.3.1.
  - WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1.



**PROPOSED NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



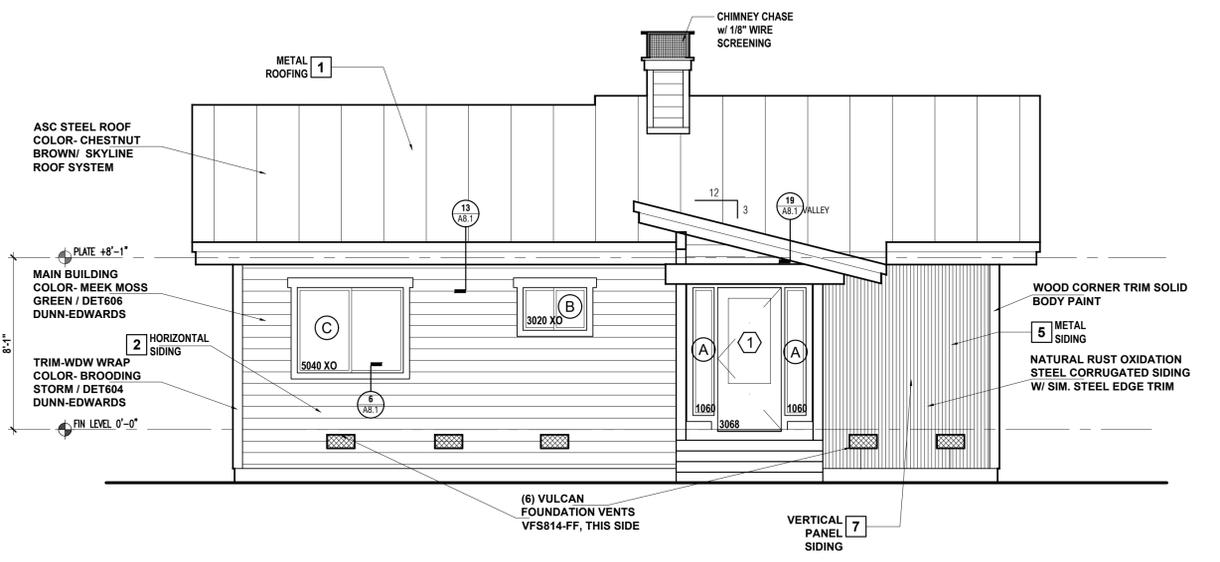
**MAIN BUILDING COLOR- MEEK MOSS GREEN DUNN-EDWARDS #DET606**

**TRIM-FASCIA WDW WRAP COLOR- BROODING STORM DUNN-EDWARDS #DET604**

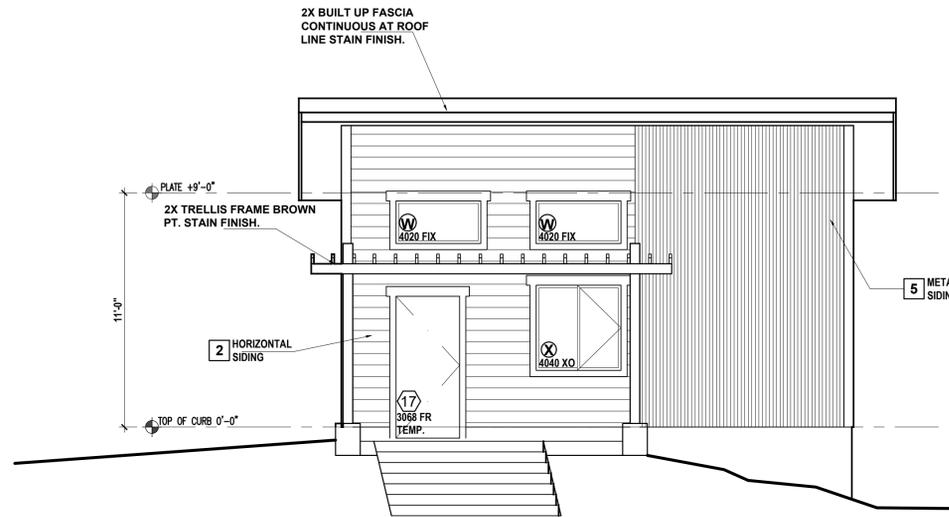
- For fireplace/chimney specify the following:
- Chimney shall extend at least 2 ft higher than any portion of the building within 10 ft, but shall not be less than 3 ft above the highest point where the chimney passes through the roof. [CRC R1003.9]
  - Masonry chimney shall have a chimney cap (concrete, metal, or stone) sloped to shed water, a drip edge and a caulked bond break around any flue liners. [CRC R1003.9.1]
  - Rain cap when installed must have a minimum clearance above the flue termination to provide a net clear area of four times the free area of the flue [CRC R1003.9.3]
  - Reinforce masonry or concrete chimney per [RC R1003.3] and anchor chimney to floor and roof/ceiling line per [CRC R1003.4]
- For factory-built metal fireplace specify [CRC R1004.4]:
- Manufacturer, model and ICBO/UL number, see Proposed Floor Plan.
  - Installation and use shall be in accordance with Manufacturer's listing.
  - Non-vented fireplaces or gas fired appliances are not permitted.
  - Factory-built chimney maximum offset is 30 degrees vertically and shall not have more than 4 elbows. [CRC R1005.7]
  - Fireplace gas valves must be located not more than 6 ft unless listed for installation in the fireplace. [CPC 1212.5]

**Exterior Facade Specifications:**

- STANDING SEAM METAL ROOFING:**  
Standing seam metal roofing by "ASC" Manufacturing, style to be "SKYLINE", color "CHESTNUT BROWN", Class A Fire Rated, verify with owner. Provide Bituthene Ice and Watershield Underlayment at all roof valleys, overhangs and at walls. All adjacent surfaces shall be flashed at walls, pitch changes, etc. Contractor to install all roofing products, per mfr. specifications. Drip edge, G.I. flashing, gutters, caps etc., any parts in common with roofing material shall be painted to match roof accent color.
- HORIZONTAL SIDING:**  
Exterior siding shall be 5/8" x 10" JAMES-HARDY ARTISAN LAP, beveled siding to match existing siding. Install o' Tyvek housewrap paper o/ plywood shear wall with 2-8d nails @ 48" o.c. or per board per bearing. Use 3-10d nails @ board ends and splices. Verify Paint & sealer w/ designer. Paint color per DUNN-EDWARDS to be solid body exterior quality, color MEEK MOSS GREEN/ DET 606 per owners desire.
- WINDOW TRIM AND CORNERS:**  
All trim to be 2x4 RS cedar paint to accent main siding field. All window trim to be placed prior to siding, which will terminate at window aluminum extruded mould. Caulk joint of trim to siding to prevent any water infiltration. Corner trim to be 2x6 RS cedar material one side and 2x4 RS cedar at 90 degrees. Accent to match window trim in texture and color. In essence all corner profiles to have a 6" reveal. Corner to be placed prior to siding to allow for water tight, and a superior corner structure. All corner trim to be attached with 2-10d nails @ 48" o/c with 2 nails at all ends. Stain color per DUNN-EDWARDS to be solid body exterior quality. Color - BROODING STORM/ DET 604 per owner's desire.
- STONE VENEER:**  
CHIEF JOSEPH or KOOTENAI Ledgestone, Large Flag field pattern to be applied per 2016 CRC, Section R703.3.1. Provide 2 layers of waterproof paper backing applied directly to plywood (edx). A minimum of a No. 17 Gauge wire ties to be attached to plywood @ 16" o.c., each way w/ 8d wire nails. A minimum of 1" mortar bed, wire to extend through grout spaces a minimum of 1".
- METAL SIDING:**  
Exterior Metal siding shall be HORIZONTAL pattern, HC 50 metal CORETEN, panel size by owner. Install o' tyvek housewrap paper o/ plywood shear wall with attachments per mfr. Use all required trim and flash metal at all ends and terminations. Verify pattern and color w/ designer prior to installation.
- DECKING MATERIAL:**  
Trex "TRANSCEND" series composite deck material, installed per mfr. specifications. Or "Tufflex" Polycout decking system, application of the Class A polymer to follow strict requirements by the manufacturer. Both systems are approved by the ICC as Class A ignition resistant materials.
- VERTICAL BATTEN SIDING:**  
Use HARDIETRIM 3/4"x3.5" Vertical Battens installed over HARDIPANEL Smooth. All required GI flashing to be applied at top and bottom of all exterior siding. Use 2-8d nails @ 24" vert. for batten, 2 nails 3" from ends. Panels to be placed over Tyvek Housewrap, which will be placed over exist, siding all required counter flashing to be installed. Prior to placement of new material. Verify Paint & Sealer w/ designer. Color per DUNN-EDWARDS to be solid body exterior quality. Paint and Stain color MEEK MOSS GREEN/ DET 606 per owners desire.

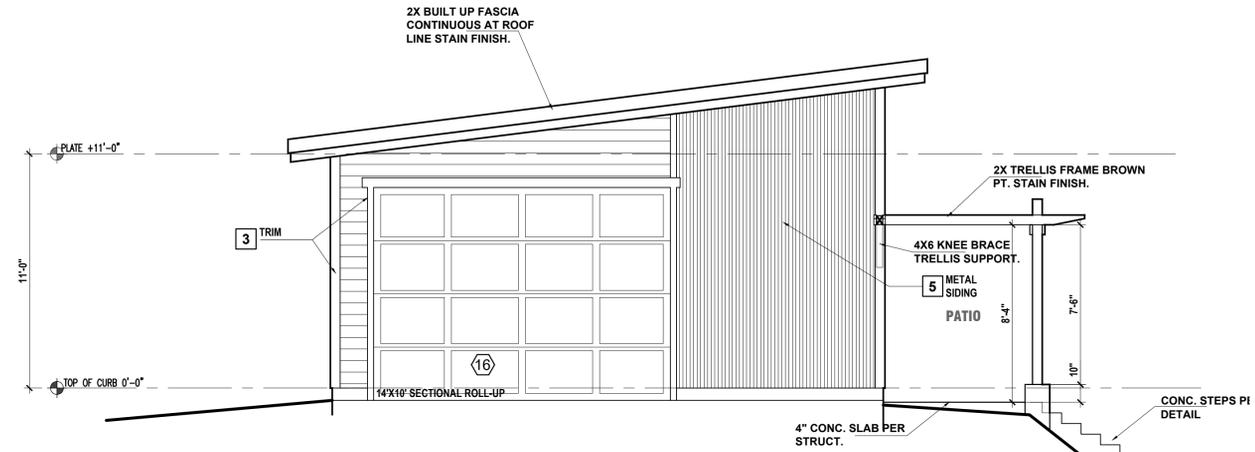


**PROPOSED HOUSE WEST ELEVATION**  
SCALE 1/4" = 1'-0"



### PROPOSED GARAGE SOUTH ELEVATION

SCALE 1/4" = 1'-0"

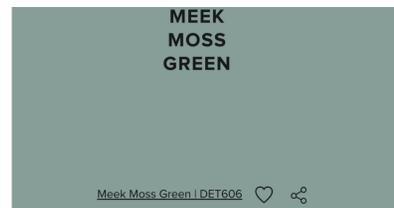


### PROPOSED GARAGE WEST ELEVATION

SCALE 1/4" = 1'-0"



TRIM-FASCIA WDW WRAP COLOR- BROODING STORM  
DUNN-EDWARDS #DET604



MAIN BUILDING COLOR- MEEK MOSS GREEN  
DUNN-EDWARDS #DET606

#### CBC SPECIFICS REQUIRED per PLAN

Submittal documents for deferred submittal items such as ROOF TRUSSES or STRUCTURAL STEEL and SPECIAL INSPECTIONS shall be submitted to, or by the architect or engineer of record. Who shall review them and forward them, to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with design of the building. The deferred submittal items shall not be installed until their design, and submittal documents have been approved by the building official.

Glazing in the following locations should be of safety glazing material in accordance with section 2406.4 (See exceptions):

- Doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

All egress windows may exceed the following dimensions: Clear operable area of 5.7 sq. ft. Clear width of 20" min. and Clear Height of 24" min. Not to exceed 44" above finished floor per CBC.

#### Guardrails

- Shall have a height of 42"
- Openings between railings shall be less than 4". The triangular openings formed by the riser, tread, and bottom element of a guardrail at a stair shall be less than 6".

#### Handrails

- Handrails are required on each side of stairways. Stairways less than 44" wide of stairways serving one dwelling unit may have one handrail (if not open on both sides).
- Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from walls shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded terminations or bends.

Attic ventilation openings shall be covered with corrosion-resistant metal mesh with mesh openings of 1/4" in dimension. Section 1505.3. Provide not less than 1 square foot vented area for every 150 square feet of attic area.

Note: Provide 15# felt underlayment for the compo roof.

#### Anchor Bolt Requirements

The nominal anchor bolt diameter shall be 5/8" (for Seismic Zone 4 only). Note: This will require a minimum distance from the ends of sill plates to be 4- 3/8" (and a maximum of 12").

Plate washers (minimum size of 2" x 2" x 3/16") shall be used on each anchor bolt. Where hold-downs require anchors for embedment, the hold down anchors must be secured in place prior to foundation inspection.

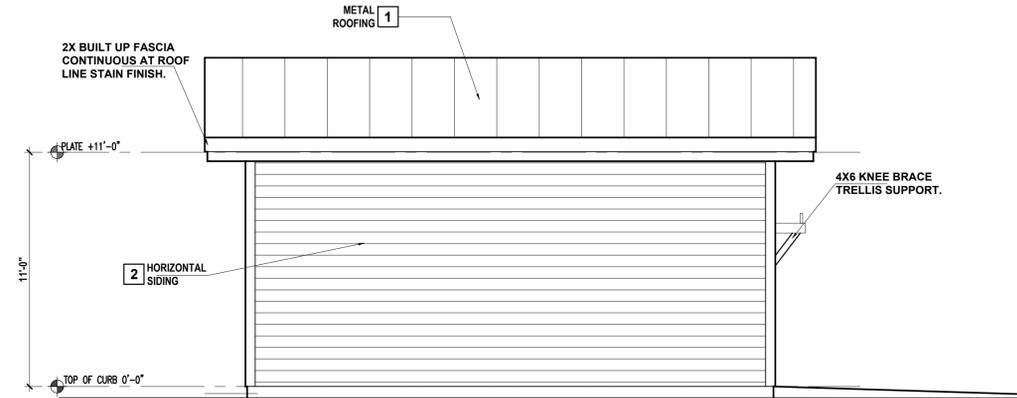
A.I.T.C. Certificate of Compliance for glued laminated wood members shall be given to the building inspector prior to installation. Section 2304.

In kitchens and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" by 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

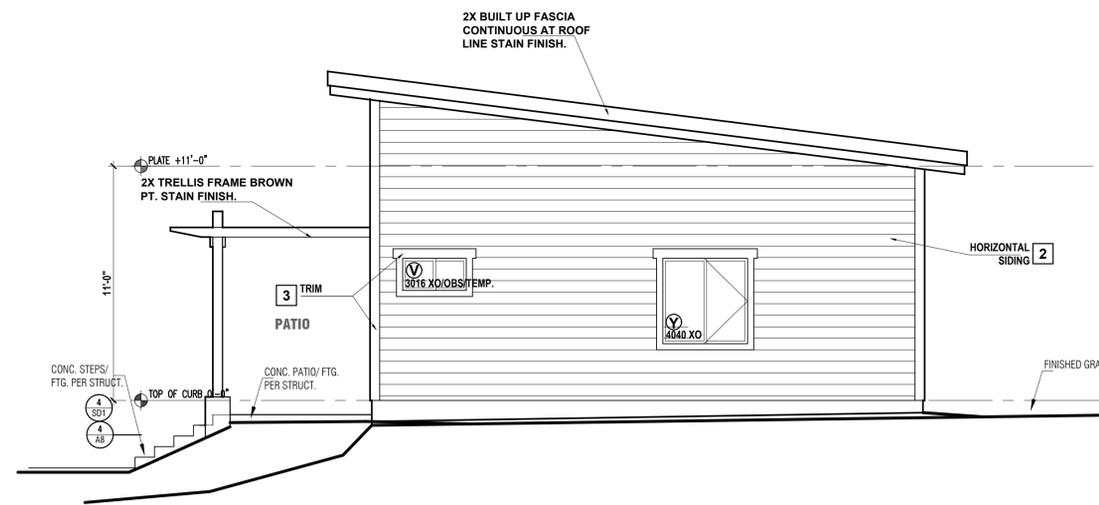
#### Exterior Facade Specifications:

- STANDING SEAM METAL ROOFING:**  
Standing seam metal roofing by "ASC" Manufacturing, style to be "SKYLINE", color "CHESTNUT BROWN", Class A Fire Rated, verify with owner. Provide Bituthene Ice and Watershield Underlayment at all roof valleys, overhangs and at walls. All adjacent surfaces shall be flashed at walls, pitch changes, etc. Contractor to install all roofing products, per mfr. specifications. Drip edge, G.I. flashing, gutters, caps etc., any parts in common with roofing material shall be painted to match roof accent color.
- HORIZONTAL SIDING:**  
Exterior siding shall be 5/8" x 10" JAMES-HARDY ARTISAN LAP, beveled siding to match existing siding. Install of Tyvek housewrap paper or plywood shear wall with 2-8d nails @ 48" o.c. or per board per bearing. Use 3-1/4d nails @ board ends and splices. Verify Paint & sealer w/ designer. Paint color per DUNN-EDWARDS to be solid body exterior quality, color MEEK MOSS GREEN/ DET 606 per owners desire.
- WINDOW TRIM AND CORNERS:**  
All window trim to be 2x6, 2x4 RS cedar material, sill trim to be 2x4 RS cedar paint to accent main siding field. All window trim to be placed prior to siding, which will terminate at window aluminum extruded mould. Caulk joint of trim to siding to prevent any water infiltration. Corner trim to be 2x4 RS cedar material one side and 2x4 RS cedar at 90 degrees. Accent to match window trim in texture and color. In essence all corner profiles to have a 6" reveal. Corner to be placed prior to siding to allow for water tight, and a superior corner structure. All corner trim to be attached with 2-10d nails @ 48" o.c with 2 nails at all ends. Stain color per DUNN-EDWARDS to be solid body exterior quality. Color- BROODING STORM/ DET 604 per owner's desire.
- STONE VENEER:**  
CHIEF JOSEPH or KOOTENAI LedgeStone, Large Flag field pattern to be applied per 2016 CRC, Section R703.3.1. Provide 2 layers of waterproof paper backing applied directly to plywood (cdx). A minimum of a No. 17 Gauge wire ties to be attached to plywood @ 16" o.c., each way w/ 8d wire nails. A minimum of 1" mortar bed, wire to extend through grout spaces a minimum of 1".
- METAL SIDING:**  
Exterior Metal siding shall be HORIZONTAL pattern, HC 50 metal CORETEN, panel size by owner. Install of tyvek housewrap paper or plywood shear wall with attachments per mfr. Use all required trim and flash metal at all ends and terminations. Verify pattern and color w/ designer prior to installation.
- DECKING MATERIAL:**  
Trex "TRANSCEND" series composite deck material, installed per mfr. specifications. Or "Tufflex" Polycoat decking system, application of the Class A polymer to follow strict requirements by the manufacturer. Both systems are approved by the ICC as Class A ignition resistant materials.
- VERTICAL BATTEN SIDING:**  
Use HARDIETRIM 3/4"x3.5" Vertical Battens installed over HARDIPANEL Smooth. All required GI flashing to be applied at top and bottom of all exterior siding. Use 2-8d nails @ 24" vert. for batten, 2 nails 3" from ends. Panels to be placed over Tyvek Housewrap, which will be placed over exist, siding all required counter flashing to be installed. Prior to placement of new material. Verify Paint & Sealer w/ designer. Color per DUNN-EDWARDS to be solid body exterior quality. Paint and Stain color MEEK MOSS GREEN/ DET 606 per owners desire.



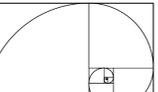
### PROPOSED GARAGE NORTH ELEVATION

SCALE 1/4" = 1'-0"



### PROPOSED GARAGE EAST ELEVATION

SCALE 1/4" = 1'-0"



DESIGN  
DIMENSION  
ASSOCIATES

DESIGN  
PLANNING  
STRUCTURES

P.O. BOX 7193  
MAMMOTH LAKES, CA 93246  
TEL/FAX (760) 934-4348

**PROPOSED  
GARAGE ELEVATIONS**

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Craig Tapley

**CARDOZA Family Residence**

CLIENT NAME: IAN CARDOZA  
CONTACT ADDRESS:  
PROJECT ADDRESS:  
APN: 064-200-024-000

PH: 619 647 7305  
3661 BOREN ST.  
SAN DIEGO, CA 92115  
568 RIMROCK RD.  
SWALL MEADOWS CA, 93259

#### REVISIONS

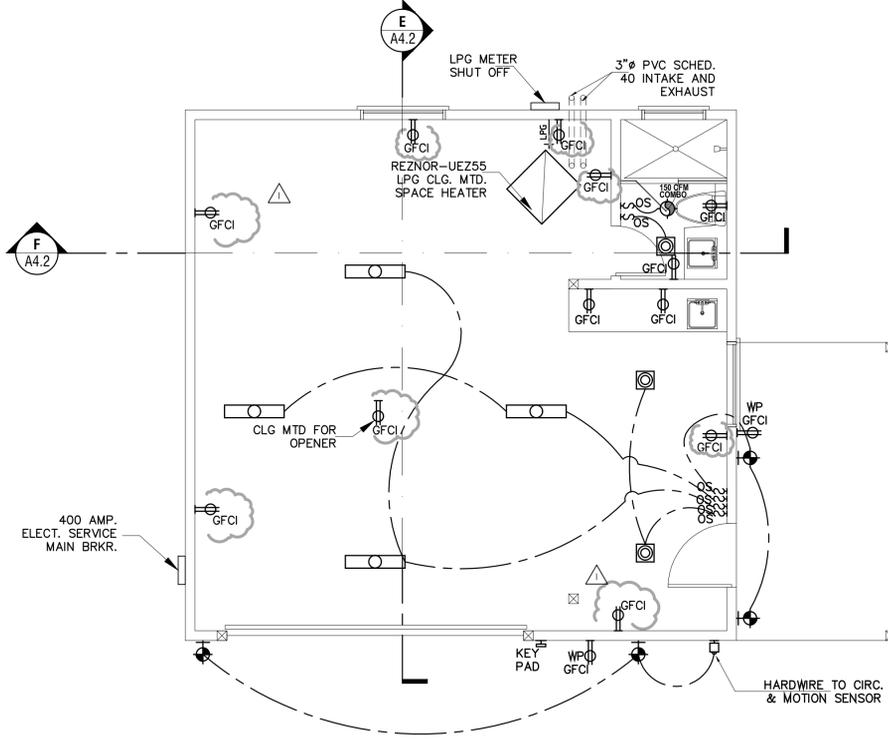
NO.	DATE	DESCRIPTION

NOV. 2023  
SCALE: AS SHOWN  
DRAWN: CWT/FC  
PRINTED 3.19.24  
SHEET

A5.2

**Electrical Notes:**

- Smoke detectors shall be 110v, hard wired to primary power source and must be equipped with battery back up. Detectors to be wired together so as to sound alarm system that is audible in all areas of the dwelling.
- LPG detectors to be hard wired to primary power source and must be equipped with battery back up. As well as commonly wired to other detectors so as to sound alarm system that is audible in all areas of the dwelling.
- LPG sensor/detectors to be located at lowest point at given floor, or lowest point of subfloor.
- All lighting in closets to be recessed incandescent fixtures per 410-8 NEC. No surface mounted fixtures allowed. Refer to note #29 below.
- Front lighting fixtures at exterior above Entry to be hard wired to motion sensors or timing system as requested by owner.
- Lighting fixtures (Flood Lights) at Front of Garage structure to be hard wired to circuit, as well as wired to be switch operated per owners request.
- Proposed Water Heater, NAVIEN/ NPE-150 S2 Flash Boiler, LPG fired 96% eff. All combustion exhaust to be vented to exterior by mechanical fan system, Conform to 2022 CRC requirements. Contractor to provide LPG drain from appliance to exterior of building via PVC piping. New appliance supply to be connected to House plumbing system. Refer to Title 24 sheets T-1, T-1.1.
- Proposed heating to be provided by YORK TG9s LATITUDE, 80,000 btu/hr, 95.5% AFUE. Refer to CEC Title -24 report and Calculations provided on Sht. T-1, T-1.1.
- House to be provided with Code required Panasonic FV-10 Heat Recovery Unit, provide make up air venting from exterior to unit, and from unit to exterior, per Mfr. requirements.
- All wall outlets in Kitchen & Bathrooms to have GFCI capabilities and be appropriately wired to their common circuit per room.
- Provide exterior weatherproof 110 volt outlet at front and back of house as required per CRC min., see plan. Located outlets no more the 6.5' above floor.
- Provide exterior weather proof 110 volt outlets at caves for seasonal or auxiliary lighting applications. Front at entry and above porch at back of house.
- Arc-fault circuit protection shall be provided on all 120 volt, single phase, 15 and 20 ampere branch circuits supplying outlets install in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. Protection shall be provided by a listed arc-fault circuit interrupter, combination type, installed to provide protection of the branch circuit. Also all 125 volt, 15 and 20 amp receptacles shall be listed tamper-resistant receptacles.
- All new luminaries that are permanently installed must be high efficacy.
  - A. Less than 15 watts - 40 lumens/watt High Efficacy means.
  - B. Between 15-40 watts - 50 lumens/watt.
  - C. Greater than 40 watts - 60 lumens/watt.
- Lighting fixtures that contain a conventional (medium) screw - based socket are not permitted.
- Kitchens. At least half the installed wattage of luminaries in kitchens shall be high efficacy and the ones that are not must be switched separately.
- Lighting in Bathrooms, Garages, Laundry Rooms, and Utility Rooms. All luminaries shall either be high efficacy or shall be controlled by an occupant sensor. If the manual- or motion sensor is provided, it shall be installed to turn off automatically when no one is present and be capable of being turned on with a switch.
- Other Rooms. All luminaries shall either be high efficacy or shall be controlled by an occupant sensor or dimmer. Closets that are less than 70 square foot are exempt from this requirements.
- Outdoor Lighting. All luminaries mounted to the building or to other buildings on the same lot shall by high efficacy luminaries or shall be controlled by a photo- control/motion sensor combination.
- All switch controls to be +42" above floor U.N.O.
- All electrical outlets to be +10" above floor U.N.O.
- All Bedrooms to have arc-fault receptacles per 2019 CEC. Provide arc vault interrupt @ all bedrooms, typical from CBC and NEC.
- All recessed luminaires to be ICC rated, electronic ballast and air tight.
- Kitchen- provide two dedicated branch circuits that are limited to supplying wall and counter outlets for the Kitchen, pantry, breakfast room, dining room, or similar areas. Note these circuits must be dedicated for outlets only "not other uses", per CEC 210-11(c)(1), 210-52(b).
- Bathroom outlets to have a dedicated 20-ampere circuit, which does not supply power other than receptacles.
- Laundry area to have a dedicated 20-ampere circuit for those receptacles only, not any other room services.
- Condensate lines from mechanical equipment shall discharge to a plumbing fixture or storm drain by means of indirect waste pipe. Condensate lines shall not terminate in landscapes or yard areas.
- Effective Jan. 1, 2020 new installation of gas water heater shall have all the following as per 2019 Energy Standards.
  - A dedicated 125V, 20-amp electrical receptacle connected to the electrical panel with a 120/240 -volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater and accessible with no obstructions.
  - Both ends of the unused conductor shall be labeled "SPARE" and be electrically isolated.
  - A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit above and labeled "FUTURE 240V USE".
  - A category III or IV vent, or a Type B vent with straight pipe through outside and water heater.
  - A condensate drain no more than 2 inches higher than the base of the water heater for natural drying.
  - A gas supply line with capacity of at least 200,000Btu/hr.
- Provide a Sediment trap at the location of the water heater and the FAU. A sediment trap must be installed as close as possible to the gas inlet of the appliance if it is not part of the appliance. Sediment traps are NOT required at ranges, clothes dryers, decorative appliances or fireplaces.
- Clothes closets & storage closets:
  - 12" for surface-mounted incandescent or LED luminaries with a completely enclosed light source installed on the wall above the door or on the ceiling.
  - 6" for surface-mounted fluorescent luminaries installed on the wall above the door or on the ceiling.
  - 6" for recessed incandescent or LED luminaries with a completely enclosed light source installed in the wall or ceiling.
  - 6" for recessed fluorescent luminaries installed in the wall or ceiling.
  - Surface-mounted fluorescent or LED luminaries shall be permitted to be installed within the closet storage space where identified for such use.
- Concrete-Encased Electrode must be encased by at least 2" of concrete and located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth. It must consist of at least 20' of one or more bare or zinc galvanized or other electrically conductive coated steel reinforced bars or rods of not less than 1/2" in diameter, or consisting of at least 20' of bare copper conductor not smaller than 4 AWG. Reinforcing bars shall be permitted to be bonded together by the usual steel tie wires or other effective means.
- New boxes used at luminare or lamp-holder outlets in a ceiling shall be required to support a luminaire weighing a minimum of 50-lbs. boxes used at luminare outlets in walls shall be designed for the purpose and shall be marked on the interior indicating the maximum weight of the luminaire permitted, if other than 50-lbs. outlet boxes or systems used as the sole support of ceiling fans shall be listed and marked by the manufacturer as suitable for this purpose.
- EV CHARGING INFRASTRUCTURE NOTES:
  - New one- and two-family dwellings and townhouses with attached private garages. for each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an ev charger raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved for permit installation of a branch circuit overcurrent protective device. CIBC 4.106.4.1.
  - Identification. the service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future ev charging as "EV CAPABLE". the raceway termination locations shall be permanently and visibly marked as "EV CAPABLE". CIBC 4.106.4.1.1



**PROPOSED GARAGE ELECTRICAL PLAN**

SCALE 1/4" = 1'-0"

**MISCELLANEOUS SYSTEMS**

	TELEPHONE OUTLET
	DATA COMPUTER OUTLET
	SMOKE DETECTOR (maybe a combination carbon monoxide/smoke detector.)
	CARBON MONOXIDE DETECTOR
	PROPANE GAS SENSOR/ALARM
	SECURITY ALARM
	TELEVISION CABLE, 4G DEEP BOX W/ 4G RING & BLANK PLATE
	EXHAUST FAN
	THERMOSTAT CONTROL
	GAS OUTLET
	HOSE BIBB
	DOMESTIC WATER
	TIMER / PHOTO-CELL
	DOOR BELL ACTUATOR
	BELL
	PUSH BUTTON
	KEY PAD
	HEAT LAMP

**LIGHT FIXTURES**

	UNDER CABINET LOW VOLTAGE 20 WATT HALOGEN 'HOCKEY PUCK' RECESSED FIXTURE
	RECESSED FIXTURE/ HE - LED/ 1200 LUMENS 4" RECESSED FIXTURE
	LED RECESSED FIXTURE 4" DIAMETER- SLOPED CEILING
	PENDANT FIXTURE
	CEILING MOUNTED - LIGHT FIXTURE
	WALL FIXTURE
	WALL FIXTURE- EXTERIOR
	FLUORESCENT STRIP
	FLUORESCENT LIGHT BOX
	WALL SCONCE
	LIGHT/FAN COMBINATION - EXHAUST FAN
	TRACK LIGHTING (3 LIGHTS SHOWN TYP.)
	EXTERIOR FIXTURE - MOTION SENSOR
	FAN W/ LIGHTS

**ELECTRICAL SYMBOL LEGEND**

	<b>POWER</b>
	RECESSED WALL PANEL WITH DOOR
	METER
	<b>CONTROL</b>
	SINGLE POLE SWITCH, AFCI PER ELEC. NOTES.
	DIMMER SWITCH
	SINGLE POLE SWITCH, OCCUPANCY SENSOR SWITCH
	THREE-WAY SWITCH
	THREE-WAY DIMMER SWITCH
	3-WAY OCCUPANCY SENSOR SWITCH
	3-WAY DIMMER & OCCUPANCY SENSOR SWITCH
	FOUR-WAY SWITCH
	FOUR-WAY DIMMER SWITCH
	<b>RECEPTACLE</b>
	DUPLEX CONVENIENCE OUTLET (AFCI)
	220V OUTLET
	DUPLEX CONVENIENCE OUTLET - 1/2 HOT, 1/2 SWITCHED
	QUADRUPLEX CONVENIENCE OUTLET
	UNDER COUNTER
	DUPLEX FLOOR OUTLET
	JUNCTION BOX, CONNECTED TO EQUIPMENT - NOTED ON PLAN
	UNDER EAVE SEASONEL OUTLET
	DUPLEX CONVENIENCE OUTLET- WATERPROOF/ GFCI
	DUPLEX CONVENIENCE OUTLET- GFCI

**HEAT PUMP INSTALLATION:** For future heat pump water heater installation per CBEES 150.0(i). When Gas or Propane water heater is used, a space at least 2.2' x 2.5' x 7' tall for a future heat pump water heater (HPWH) is required meeting either of the requirements below (meeting all applicable California Electrical Code requirements):

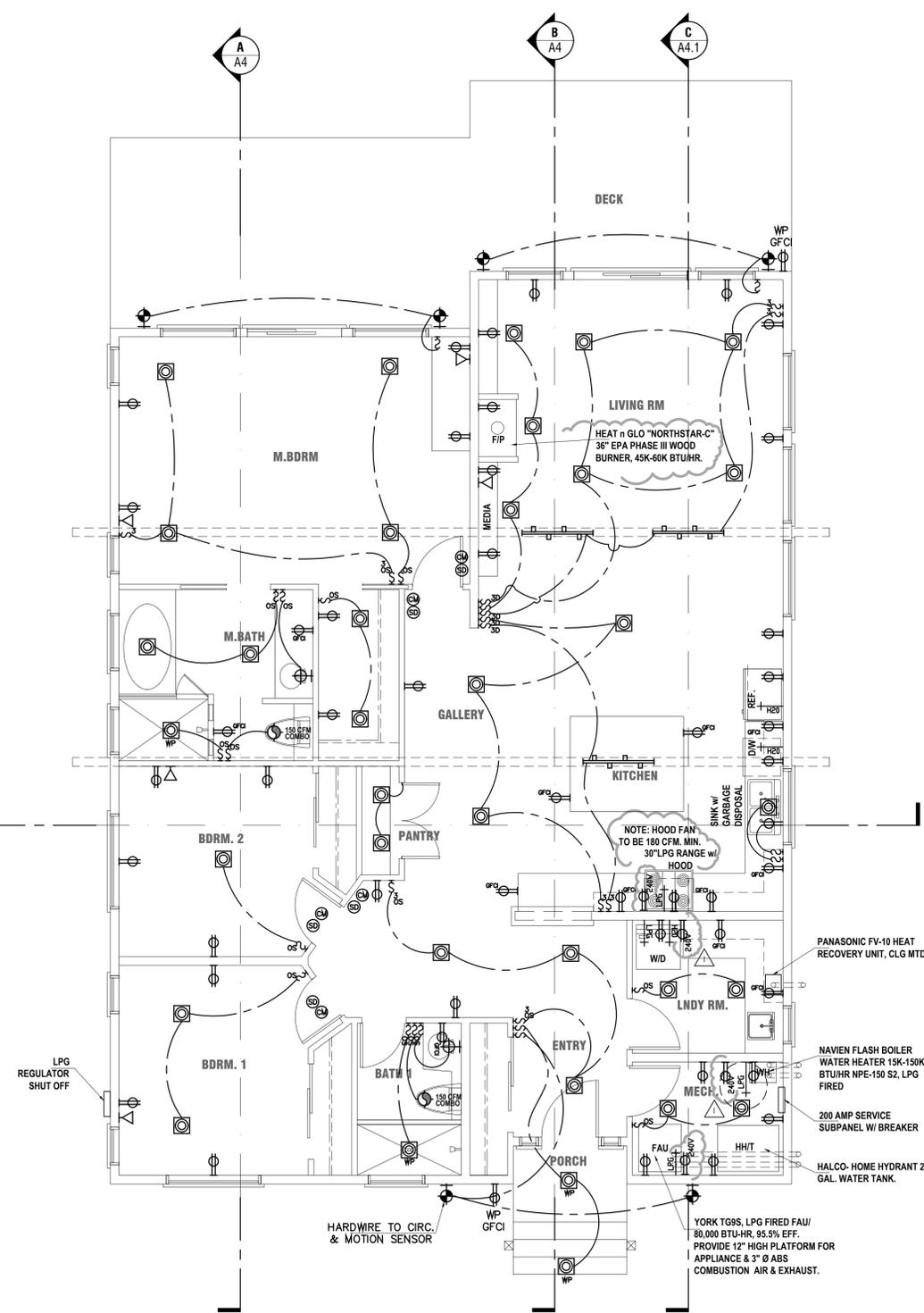
- If the HPWH is within 3 ft. of the installed water heater, the following are required:
  - A dedicated, 125-volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240-volt 3 conductor, 10-AWG copper branch circuit within 3 ft. of the water heater.
  - Labeling both ends of the unused conductor "SPARE" and isolating them electrically.
  - A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit in (i) above and label it "Future 240V Use".
- A condensate drain that is no more than 2" higher than the base allowing for natural draining.
- If the HPWH space is >3 ft. from the installed water heater, the following are required:
  - A dedicated, 240-volt branch circuit rated at 30 amps minimum installed within 3 ft. of the space labeled as "240V ready".
  - Reserved space in the main electrical service panel to allow for the installation of a double pole circuit breaker permanently labeled "For Future 240V Use".
  - Dedicated cold water supply to (or cold water supply running through) the HPWH space before it serves the installed water heater.
  - Hot water supply from the installed water heater that is routed to the HPWH space before serving any fixtures.
  - Hot and Cold water supply that are exposed and readily accessible for future HPWH.
  - A condensate drain that is no more than 2 inches higher than the base allowing for natural draining.

**ENERGY STORAGE SYSTEMS:** For all single family residences, that include one or two dwelling units shall meet the following. All electrical components shall be installed in accordance with the CALIFORNIA ELECTRICAL CODE:

- At least one of the following shall be provided:
  - ESS Ready interconnection equipment with a minimum backed up capacity of 60 amps and a minimum of four ESS supplied branch circuits, or
  - A dedicated raceway from the main service to a panelboard (subpanel) that supplies the branch circuits in 150.0(i)2. All branch circuits are permitted to be supplied by the main service panel prior to the installation of an ESS. The trade size of the raceway shall not be less than one inch. The panelboard that supplies the branch circuits (subpanel) must be labeled "Subpanel that include all backed-up load circuits".
- A minimum of four branch circuits shall be identified and have their source of supply isolated at a single panelboard suitable to be supplied by the ESS. At least one circuit shall supply the refrigerator, one lighting circuit shall be located near the primary egress, and at least one circuit shall supply a sleeping room receptacle outlet.
- The main panelboard shall have a minimum busbar rating of 225 amperes.
- Sufficient space shall be reserved to allow future installation of system isolation equipment/transfer switch within 3 feet of the main panelboard. Raceways shall be installed between the panelboard and the system isolation equipment/transfer switch location to allow the connection of backup power source.

**SYSTEMS USING GAS OR PROPANE APPLIANCE ARE PROPOSED. PROVIDE THE FOLLOWING TO COMPLY WITH SECTION 150.0(i)(iv):**

- A dedicated 240 volt branch circuit wiring shall be installed within 3 feet from the Furnace and accessible to the furnace with no obstructions. The branch circuit conductors shall be rated at 30 amps minimum. The blank cover shall be identified as "240V ready". All electrical components shall be installed in accordance with the California Electrical Code.
- The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future electric appliance installation. The reserved space shall be permanently marked as "For Future 240V use".



**PROPOSED RESIDENCE ELECTRICAL PLAN**

SCALE 1/4" = 1'-0"

**PROPOSED ELECTRICAL PLAN**

Craig Tapley

**CARDOZA Family Residence**  
 CLIENT NAME: IAN CARDOZA  
 CONTACT ADDRESS:  
 PROJECT ADDRESS:  
 A/P: 1064-200-024-000

PH. 619.647.7305  
 3681 BOREN ST.  
 SAN DIEGO, CA 92115  
 660 PIMROCK RD.  
 SWALL MEADOWS CA, 93529

**REVISIONS**

PLAN CHECK REV.  
 03-15-24 CWT

NOV. 2023  
 SCALE: AS SHOWN  
 DRAWN: CWT/FC  
 PRINTED: 3.19.24  
 SHEET

**A7**

DESIGN DIMENSION & ASSOC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM DESIGN DIMENSION & ASSOC.

# COLOR CHART



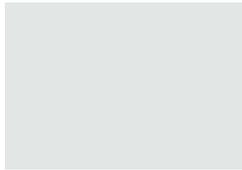
Not all colors and profiles are available at all locations. Please see back of color card for details.

## STANDARD COLORS

We recommend you request a physical sample to review before ordering. We are not responsible for color variations.



**ZINCALUME® Plus\***  
SRI: 64 • LRV: 67



**WINTER WHITE**  
SRI: 88 • LRV: 74



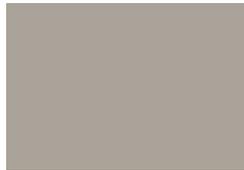
**SURF WHITE**  
SRI: 74 • LRV: 59



**LIGHT STONE**  
SRI: 70 • LRV: 53



**DESERT BEIGE**  
SRI: 58 • LRV: 39



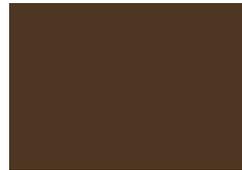
**CASCADE GRAY**  
SRI: 58 • LRV: 41



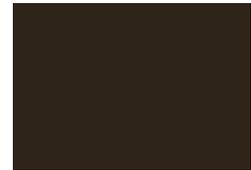
**TAUPE**  
SRI: 53 • LRV: 28



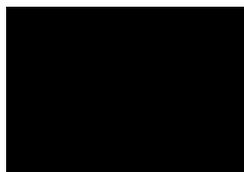
**PATINA STEEL**  
SRI: 38 • LRV: 17



**CHESTNUT BROWN**  
SRI: 36 • LRV: 12



**CLASSIC BROWN**  
SRI: 29 • LRV: 7



**MATTE BLACK**  
SRI: N/A • LRV: 5



**CANYON RED**  
SRI: 45 • LRV: 16



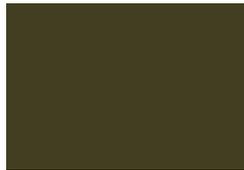
**RUSTIC RED**  
SRI: 43 • LRV: 13



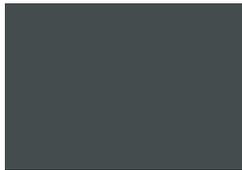
**OLD TOWN GRAY**  
SRI: 43 • LRV: 27



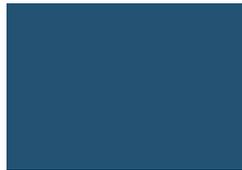
**OLD ZINC GRAY**  
SRI: 43 • LRV: 22



**WEATHERED COPPER**  
SRI: 32 • LRV: 11



**SLATE GRAY**  
SRI: 32 • LRV: 13



**TAHOE BLUE**  
SRI: 33 • LRV: 14



**EVERGLADE**  
SRI: 35 • LRV: 19



**DENALI GREEN**  
SRI: 29 • LRV: 11



**FOREST GREEN**  
SRI: 36 • LRV: 8



**COPPER PENNY<sup>1</sup>**  
SRI: 53 • LRV: 28



**NATURAL RUST<sup>1</sup>**  
SRI: 32 • LRV: 10  
(Subject to upcharge)



**IRONOX<sup>2</sup>**  
SRI: N/A • LRV: N/A

**MEASURED ON A SCALE OF 0 - 100**

**Light Reflective Value (LRV)**  
Measures how much visible light a color reflects and how much it absorbs. The **higher** the LRV, the **more reflective** it will be.

**Solar Reflective Index (SRI)**  
Measures the amount of **heat reflected** from painted metal roof. The higher the SRI value, the cooler the metal will be, helping cut down on **energy costs** to keep your **home cool**.

SRI values in accordance with ASTM E1980 and are based on independent testing. Cool Roof Rating Council (CRRC) performance values (for CA Title 24) are based on color families and will differ from above.

SRI=Solar Reflective Index. LRV=Light Reflectance Value. GA= Gauge of Steel. \*Clear acrylic coated.

<sup>1</sup>Please note, these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects.

<sup>2</sup>IronOx is black steel (uncoated and unpainted), that rusts naturally. No warranty is offered or implied. Only available in 22 GA Nu-Wave® Corrugated.

REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.

Sample color chips are available upon request. Consult your ASC Building Products representative for more information.

## Customer Service Centers

Salem, OR: 503-390-7174 or 800-272-7023 | Spokane, WA: 509-536-4097 or 800-776-8771

[www.ascbp.com](http://www.ascbp.com)

# PRODUCT DETAILS AND SPECS



Color Key	12" Skyline Roofing®	16" Skyline Roofing®	2½" Corrugated	24" Delta Rib™	36" Nor-Clad®	36" Strata Rib®	36" Delta Rib™ III	36" PBR Panel	36" Nu-Wave® Corrugated
Dura Tech™ xl (SMP)									
ColorGuard 25 with Spectrascape® (Polyester)									
Dura Tech™ nt (SMP)									
ZINCALUME® Plus (Unpainted product)									
Premium Color (Subject to upcharge)									

Colors & Gauges	26	26	29	26	29	26	29	26	29	26	29	26	26	26
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ZINCALUME® Plus				1	WA									
Winter White		AK/CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Surf White							OR WA			OR WA				
Light Stone		CA OR/WA					AK OR/WA	CA OR/WA		AK OR/WA	CA OR/WA			
Desert Beige							AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Cascade Gray							OR			OR				
Taupe							CA OR/WA			CA OR/WA				
Patina Steel		CA OR/WA					CA OR/WA			CA OR/WA				
Chestnut Brown		AK/CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Classic Brown		AK/CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Matte Black		AK/CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Canyon Red							AK/CA OR/WA			AK/CA OR/WA				
Rustic Red		AK/CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Old Town Gray		CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Old Zinc Gray		AK/CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Weathered Copper		AK/CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Slate Gray		AK/CA OR/WA			CA		AK/CA OR/WA			AK/CA OR/WA				
Tahoe Blue		AK/CA OR/WA			WA		AK/CA OR/WA		OR	AK/CA OR/WA		OR		
Everglade		CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Denali Green		AK/CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Forest Green		AK/CA OR/WA					AK/CA OR/WA	OR WA		AK/CA OR/WA	WA			
Copper Penny*		AK/CA OR/WA					AK/CA OR/WA			AK/CA OR/WA				
Natural Rust*		AK/CA OR/WA		1			AK WA			AK WA				
IronOx <sup>2</sup>														2

Production Locations	26	26	29	26	29	26	29	26	29	26	29	26	26	26
Anchorage, Alaska (AK) Sacramento, California (CA) Salem, Oregon (OR) Spokane, Washington (WA)	Salem, OR.	Multiple Locations (See Key)	Sacramento, CA.	Sacramento, CA.	Sacramento, CA., Spokane, WA.	Sacramento, CA.	Multiple Locations (See Key)	Sacramento, CA., Salem, OR.	Multiple Locations (See Key)	Sacramento, CA., Salem, OR.	Salem, OR.	Sacramento, CA.	Sacramento, CA.	

**FOOTNOTES:**  
 1) Also available in 32" Net Coverage.  
 2) IronOx is black steel (uncoated and unpainted), that rusts naturally.  
 No warranty is offered or implied. Only available in 22 GA Nu-Wave® Corrugated.

Dura Tech™ 5000/mx (PVDF) 24ga & 22ga colors available for:  
 Skyline Roofing hp, Nu-Wave Corrugated, PBR Panel, and Design Span hp.  
 See [ascbp.com](http://ascbp.com) for Dura Tech™ 5000/mx color chart.

\* Please note these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects. We recommend you request a sample of current stocked material to review actual color before ordering to ensure color accuracy.

**WE ARE NOT RESPONSIBLE FOR COLOR VARIATIONS.**



# DURA TECH™ xl (SMP) Silicone Modified Polyester Coatings

## Technical Data Sheet



Dura Tech™ xl is an SMP paint system that is made of a durable resin combined with cool pigment technology. This system provides excellent color retention, and resistance to chalk and fade, while reducing energy demands.

SPECIFICATIONS	TEST STANDARD	COATED STEEL SUBSTRATE <sup>1</sup>
Dry Film Thickness (Nominal)	ASTM D1005	0.15-.030 mil primer   0.70-0.90 mil topcoat
Gloss	ASTM D523 @ 60°	10-80+
Solar Reflectance	ASTM E903, ASTM E1918 (using portable reflectometer)	.25 (25%) min.
Emissivity	ASTM C1371, ASTM E408	.80 (80%) min.
Pencil Hardness	ASTM D3363	F Min.
Flexibility <sup>2</sup>	T-bend, ASTM D4145	2 T-bend, no pick-off
Adhesion	ASTM D3359	1.5x metal thickness, no adhesion loss
Reverse Impact	ASTM D2794	2x gauge or 80" lbs.
Abrasion, Falling Sand	ASTM D968	25-40 l/mil
Mortar Resistance	ASTM C267	No effect
Detergent Resistance	ASTM D2248 (3% detergent @ 100° F-72 hrs.)	No effect
Acid Resistance	ASTM D1308 10% muratic acid - 15 min.   20% sulfuric acid - 24 hrs.	No effect No effect
Acid Rain Test	Kesternich SO <sub>2</sub> DIN 50018	10 cycles No objectionable changes
Alkali Resistance	ASTM D1308 (10%, 20% NaOH, 1 hr.)	No effect
Salt Spray Resistance	ASTM B117 (5% salt fog @ 95° F)	Passes 1,000 hrs.
Humidity Resistance	ASTM D714, ASTM D2247 (100% relative humidity @ 95° F)	Passes 1,000 hrs. (No blisters, cracks or peeling)
Exterior Exposure	ASTM D2244, ASTM D4214 (10 yrs. @ 45° F, South Florida)	Max. 5 fade   Max. 8 chalk

### FINISH WARRANTIES

Dura Tech™ xl finishes are offered with a Limited Lifetime Residential Warranty and a 25 year Non-Residential Limited Warranty.

### COMPOSITION & APPLICATION

Dura Tech™ xl coatings are factory applied, oven cured formulas applied by approved coil coaters. They utilize Silicon Modified Polyester (SMP) resins and inorganic, IR reflective pigments for superior long-term performance.

### PRETREATMENT

All substrates are pre-treated in accordance with paint manufacturer's instructions. The pretreatment is to provide a suitable surface for application of the recommended primer.

### BATCH SENSITIVE PRODUCTS - PEARLESCENT METALLIC & PRINTS

For select finishes, minor differences in color and appearance are normal and to be expected, due to the use of variable color pigments or finish patterns. To minimize the possible visual effects from the minor variations in these products, an entire job should be sourced at one time. Additionally, fabricated panels, flat sheets, and flashings should be orientated in the same direction for installation. Contact your ASC Building Products representative for more information.

<sup>1</sup> Coated steel includes the following types of steel G90 hot dip galvanized, Galvalume®, and ZINCALUME®.

<sup>2</sup> Fracturing or rupturing of substrate will rupture coatings. Heavy gauge and clad steel substrates impose limitations on formability.



WE ARE NOT RESPONSIBLE FOR COLOR VARIATIONS.

Sample color chips are available upon request. Consult your ASC Building Products representative for more information.



# BROODING STORM

Brooding\_Storm | DET604

## TRIM

[White Picket Fence | DET648](#)

## ACCENT

[Sonoma Chardonnay | DET471](#)



[ORDER PAINT](#)



[ORDER PAINT SAMPLE](#)



[ORDER FREE COLOR CHIP](#)



[INSTACOLOR ROOM VISUALIZER](#)

## BROODING STORM PAINT COLOR

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval or final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended and is easily done [online](#) or [in-stores](#).

**DUNN-EDWARDS ID:**

DET604 RL#901

**HEX COLOR CODE:**

5E6D6E

**RGB COLOR CODE:**

94, 109, 110

**CMYK COLOR CODE:**

15, 1, 0, 57

**MUNSELL:**

HUE=9.4BG | VALUE=4.4 | CHROMA=1.2

**LIGHT REFLECTANCE VALUE:**

GET UPDATES

history



# MEEK MOSS GREEN

Meek Moss Green | DET606

## TRIM

## ACCENT

White Blossom | DET677

En Plein Air | DET623



[ORDER PAINT](#)



[ORDER PAINT SAMPLE](#)



[ORDER FREE COLOR CHIP](#)



[INSTACOLOR ROOM VISUALIZER](#)

## MEEK MOSS GREEN PAINT COLOR

Meek Moss Green color is a rain-drizzled, mossy-grayed blue-green and is part of our historic color collection within the Then, Now & Forever® collection. It was discovered on the interior of the Meek Mansion, a Victorian-Italianate structure, built in 1869 in Hayward, CA. The name Meek Moss Green was named in honor of the historical home. Try it on kitchen cabinets and built-ins in a higher sheen for a lush look to your home.

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval or final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended and is easily done [online](#) or [in-stores](#).

**DUNN-EDWARDS ID:**  
DET606 RL#903

**HEX COLOR CODE:**  
869F98

**RGB COLOR CODE:**  
134, 159, 152

**CMYK COLOR CODE:**

GET UPDATES

**Mono County  
Community Development Department  
Planning Division**

PO Box 347  
Mammoth Lakes, CA 93546  
760-924-1800, fax 924-1801  
commdev@mono.ca.gov

PO Box 8  
Bridgeport, CA 93517  
760-932-5420, fax 932-5431  
[www.monocounty.ca.gov](http://www.monocounty.ca.gov)

**NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Wheeler Crest Design Review Committee will conduct a public hearing at **10:05 am Thursday, April 25, 2024**. The meeting will be held in-person at the Crowley Lake Community Center, 58 Pearson Rd, Crowley Lake CA, 93546 where members of the public shall have the right to observe and offer public comment, to consider the following:

**10:00 am – A. Proposal for single family residence with detached garage.** The property is located at 569 Rimrock Drive (APN: 064-200-024-000) and is designated Estate Residential (ER 2).

The agenda is available online at <https://www.monocounty.ca.gov/wcdrc>, and project materials are available in the Mono County Community Development Department office at 1290 Tavern Road, STE 138, Mammoth Lakes, California. INTERESTED PERSONS are encouraged to attend the meeting and to **submit comments by 5 pm on Wednesday, April 24, 2024, to the Mono County Community Development, PO Box 347, Mammoth Lakes, CA 93546** or by email at [cddcomments@mono.ca.gov](mailto:cddcomments@mono.ca.gov).

If you challenge the proposed action(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Secretary of the Planning Commission at, or prior to, the public hearing.

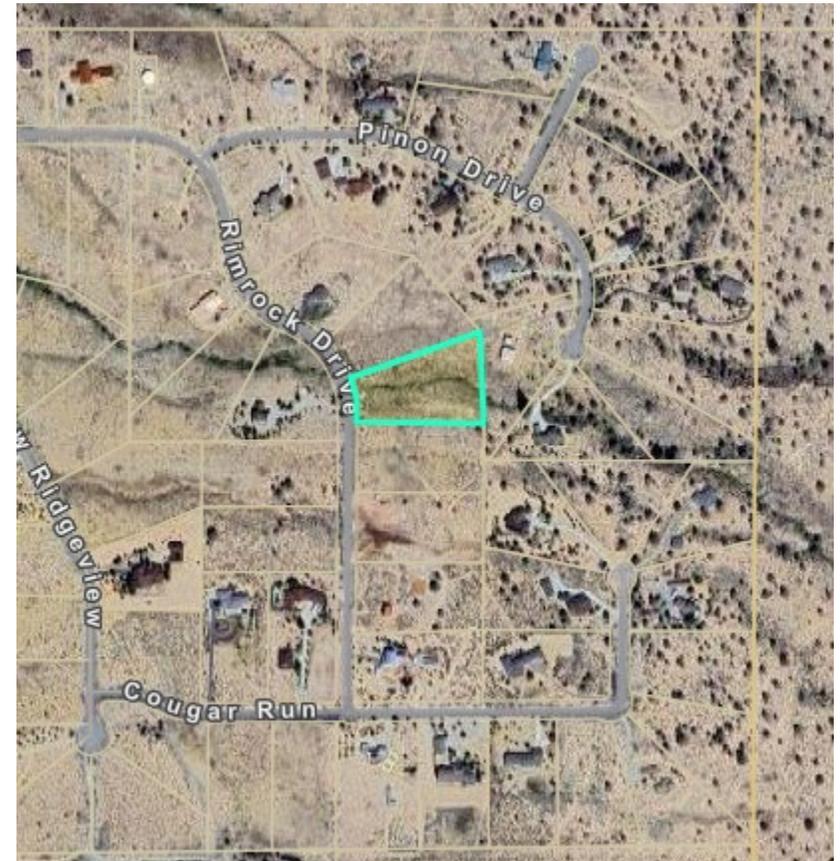


Figure 1 – location of building permit application APN 064-200-024-000

Mono County Community  
Development Dept.  
PO Box 347  
Mammoth Lakes, CA 93546

«AsseseeName»  
«Mailing\_St»  
«Mailing\_City», «Mailing\_State» «†